



Development Review Committee

1020 East Pioneer Road

Draper, Utah 84020

STAFF REPORT

August 11, 2025

To: Jennifer Jastremsky, Zoning Administrator

Approved

Date

From: Maryann Pickering, AICP, Planner III
Planning Division
Community Development Department
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: Urbana – Final Subdivision Plat Request

Application No.: 2024-0129-SUB
Applicant: Jacob Ballstaedt of Garbett Homes
Project Location: Approximately 285 W. River Chapel Road
Current Zoning: RM2 (Multiple-Family Residential) Zone
Acreage: Approximately 3.9 acres (approximately 169,884 sq. ft.)
Request: Request for approval of a Final Subdivision Plat for a 30 lot subdivision.

SUMMARY AND BACKGROUND

This application is a request for approval of a Final Subdivision Plat for approximately 3.9 acres located on the west side of Lone Peak Parkway, at approximately 285 W. River Chapel Road (Exhibits B and C). The property is currently zoned RM2. The applicant is requesting that the application be approved for the purpose of developing a 30-lot single family subdivision.

The property was historically used for agricultural, but has been vacant since the mid-2000's. In June 2024, the City Council approved a Zoning Map Amendment, Land Use Map Amendment, and Development Agreement request to allow for construction of a 30-lot single family subdivision. In early 2025, a Zoning Map Amendment, Land Use Map



Amendment, and Amended Development Agreement were approved to add a 16-foot-wide strip of land on the western boundary of the site. The Planning Commission approved the Preliminary Subdivision Plat on June 12, 2025. On July 1, 2025, the City Council approved a second amendment to the Development Agreement. This second amendment allowed public utility easements to be reduced to five feet along the side yards.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Residential High Density	Exhibit D
Current Zoning	RM2	Exhibit E
Adjacent Zoning		
East	CBP (Commercial Business Park)	
West	A2	
North	CR (Regional Commercial)	
South	R3 (Single Family)	

The Residential High Density land use designation is characterized as follows:

Residential High Density

LAND USE DESCRIPTION		
CHARACTERISTICS	<ul style="list-style-type: none"> • Abundant landscaping • Architectural variation between units and/or buildings, designed to look like houses, not boxes • Avoid walls and fences, except for screening and buffering with neighboring developments 	
LAND USE MIX	Primary <ul style="list-style-type: none"> • Patio homes • Townhouses • Multifamily housing 	Secondary <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space
DENSITY	<ul style="list-style-type: none"> • Density range: 8-12 dwelling units per acre 	
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Institutional care (IC) • Multiple-family Residential (RM1) • Multiple-family Residential (RM2) • Master Planned Community (MPC) 	
LOCATION	<ul style="list-style-type: none"> • Near retail centers, offices, or other compatible uses • Near major transit investment corridors 	
OTHER CRITERIA	<ul style="list-style-type: none"> • Care must be taken to minimize impacts on other residential areas to provide adequate circulation to accommodate the traffic demands • The developer must demonstrate that the project provides a quality living environment 	

According to Draper City Municipal Code (DCMC) Section 9-8-020, the purpose of the RM2 zone is to *“permit well designed apartments, townhomes, twin homes, and condominiums at relatively high densities that are appropriately buffered from and compatible with surrounding land uses.”*

Subdivision Layout. The proposed subdivision plat and plans can be found in Exhibit F of this report. All 30 lots will be developed at one time and there will be no phasing of the project.

Table 2 **Subdivision Design Requirements**

Standard	DCMC and DA Requirements	Proposal	Notes
Number of Lots	30 lots max	30 lots	
Lot/Parcel Size	Min. lot size of 3,200 sq. ft.	Smallest: 3,430 sq. ft. Largest: 6,603 sq. ft.	
Lot Width	42 ft.	42 ft. – 79 ft.	
Lot Depth	5 to 1 (width to depth)	2 to 1 (greatest)	
Street Frontage	42 ft.	Ranges from 42 ft. to 69 ft.	
Street Width	32 ft. min	35 ft.	
Street Ownership	Private	Private	
Easements			
PUE Front	7 ft.	10 ft.	
PUE Rear	7 ft.	10 ft.	
PUE Sides	5 feet	5 feet	Reduced PUE allowed by DA 2 nd amendment

Circulation. The proposed street layout will include a loop road with three named streets. There will only be one access point to the subdivision from River Chapel Road. There will be no access to Lone Peak Parkway to the east or any portion of the subdivision to the south. Because there is only one access to the subdivision, it is limited to 30 lots.

The road will be private with an overall right of way width of 35 feet. This road profile includes a 22-foot drivable surface, three-foot shoulder, 2½ foot curb and gutter and a five-foot sidewalk on one side of the street.

Landscaping. There are three common areas maintained by the HOA that will have landscaping. Along the northern boundary there is detention basin with shrubs along the

top of the basin. A turf area amenity for residents will be added west of the basin. The two other common areas surround designated guest parking and will contain trees and shrubs. The park strip, existing turf and street trees along River Chapel Road will remain. Street trees along Lone Peak Parkway will also remain, but decorative rock mulch and shrubs, decorative grasses and perennials will be added in the park strip along Lone Peak Parkway. Street trees are required along the new private roads in the subdivision and a note will need to be added to the final mylar stating such.

Criteria For Approval.

The criteria for review and potential approval of a final subdivision plat request is found in Section 17-4-040 of the DCMC. This section depicts the standard of review for such requests as:

- A. *Upon receipt of the final plat, the Development Review Committee, including the City Engineer, shall review the final plat and construction drawings and determine whether the final plat conforms to the preliminary plat and is in compliance with the engineering and surveying standards and criteria set forth in this chapter and all other applicable standards and ordinances of the City and the State of Utah. If the final plat complies, the Development Review Committee shall forward the plat to the Zoning Administrator, through the Community Development Department. If the final plat does not comply, the Development Review Committee shall return the plat to the subdivider, through the Community Development Department, with comment. Review of the final plat submittal shall follow the process outlined in section 17-1-080 of this title.*
- B. *After the fourth or final review, the Zoning Administrator shall either approve the final plat, or deny the final plat if it does not conform with this title or other applicable ordinances. If the Zoning Administrator denies the final plat, the Zoning Administrator shall specify the reasons for the denial.*
- C. *No final plat shall have any force or effect unless the same has been approved by the Zoning Administrator and signed by the Mayor and City Recorder.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Final Subdivision Plat submission. Comments from this division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Final Subdivision Plat submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Final Subdivision Plat submission. Comments from these divisions, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Final Subdivision Plat submission. Comments from him, if any, can be found in Exhibit A.

GIS Division Review. The Draper City GIS Division has completed their review of the Final Subdivision Plat submission. Comments from this division, if any, can be found in Exhibit A.

Parks and Recreation Review. The Draper City Parks and Recreation Department has completed their review of the Final Subdivision Plat submission. Comments from this division, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings for approval listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator approves the request, staff recommends they note the following applicable Subdivision Plat requirements:

1. That the developer must comply with DCMC subsection 17-5-060(B)(1) and the note regarding street tree installation as outlined in that subsection must be included on the Final Mylar Plat.
2. If the subdivision plat amendment is not recorded within one (1) year from the date of approval or construction of the required landscaping and infrastructure has not commenced, such approval shall be null and void. This time period may be extended by the Planning Commission for up to one additional six (6) month period for good cause shown. The subdivider must petition in writing for an extension prior to the expiration of the original one (1) year. See DCMC Section 17-9-070.

The findings for approval as are follows:

1. The plat complies with DCMC Section 17-4-040.
2. The plat complies with DCMC Section 17-4-030 and all engineering standards and specifications.
3. The plat complies with the original Urbana Development Agreement, and both the 1st Amended and 2nd Amended Urbana Development Agreement.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US,
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O=Draper, OU=Public Works -
Engineering, CN=Brien Maxfield
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Draper City Public Works Department



Draper City Planning Division

Don Buckley

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Marshal, CN=Don Buckley
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Draper City Fire Department



Draper City Legal Counsel

Matthew Symes

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Symes
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Draper City Building Division

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL-INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. Include the note from Section 17-5-060(B)(1)(a) of the DCMC on the Final Mylar Plat.

Building Division Review.

1. Building approval given pending geotechnical review and approval.

Engineering and Public Works Divisions Review.

1. Final Mylar review. Site construction plans will be verified with Land Disturbance Permit.

Fire Division Review.

1. **Fire Department Access is required.** An unobstructed minimum road width of 24' feet exclusive of the shoulders and a minimum height of 13'6" shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of 28'. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
D103.6.1 Roads 20 to 26 feet in width. Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20' to 26' wide.
 - This section requires that parking be prohibited on both sides of narrower fire apparatus access roads. 20' is the appropriate width needed for two average-size fire trucks to pass one another. If that width is reduced by parking even on one side, it will be potentially difficult for a fire department to undertake emergency operations in that area.**D103.6.2 Roads more than 26 feet in width.** Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26' wide and less than 32' wide.
 - Because this width is more than sufficient for maneuvering at least two fire department vehicles by one another, parking would be allowed on one side.
2. **D103.6 Signs.** Where required by the fire code official, fire apparatus access roads shall be marked with permanent **NO PARKING—FIRE LANE** signs complying with Figure D103.6. Signs shall have a minimum dimension of 12' wide by 18" high and have red letters on a white reflective background. Signs shall be, posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2. **NO PARKING FIRE LANE signs shall be placed every 250 feet. Please show on plans.**



3. **Fire Hydrants are required.** Hydrants are required to be spaced at 450' as the hose lays not as the crow flies for this project. Fire Flow of 2,000 GPM @ 20 p.s.i. residual pressure. All fire hydrants are required to be operational and unobstructed at all times throughout the project. If at any time a hydrant needs to be shut down and made inoperable the Fire Marshal shall be notified immediately. The three proposed hydrants are acceptable to the fire department. **This has been met.**
4. **Utilities** All utilities including Fire hydrants within the required width of fire apparatus access roads shall be installed prior to introducing combustible materials to a site or commencing vertical construction. Any excavation in the required fire department access roadway after combustible materials are on site shall be performed in a manner to maintain access to the site and shall be coordinated with the Fire Marshal. Combustible material shall not be placed in any way that will impede fire apparatus access to any site.
5. **Site Access Required During Construction.** Prior to and throughout construction a form of acceptable temporary Fire Department Access to the site shall be installed this includes turn arounds. The required access for fire apparatus access shall have a base material capable of supporting a 75,000 lb vehicle, during most-weather conditions, installed and compacted to 95% relative compaction at a minimum of 26' wide. There shall be no parking of construction vehicles, subcontractor vehicles within the required fire access they shall be parked on the non-hydrant side of the road to allow for emergency vehicles to still access the subdivision. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
6. **Access and Fire Protection During Construction** All buildings under construction shall meet the requirements of IFC Chapter 33, Fire Safety During Construction and Demolition as well as all of the sections detailed in this document.
7. **IFC SECTION 3310 ACCESS FOR FIRE FIGHTING DURING CONSTRUCTION**
3310.1.1 Required access. Approved vehicle access for firefighting shall be, provided to all construction or demolition sites. Vehicle access shall be provided to within 100' feet of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be, maintained until permanent fire apparatus access roads are available.
 - Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention

program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as provided in Section 3308. Fire apparatus must be able to get within 100' of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that might respond. The weight requirements are available from the local fire department. All-weather surfaces are required because the responding fire department should not waste time moving snow or trying to get out of mud.

8. **No combustible construction** shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
9. **Visible Addressing Required.** New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
10. **Street Signs required** and are to be posted and legible prior to building permits being issued. All lots to have lot number or address posted and legible.

GIS Division Review.

1. No additional comments.

Geotechnical Review.

1. No additional comments.

Parks and Recreation Review.

1. No additional comments.

EXHIBIT B
VICINITY MAP

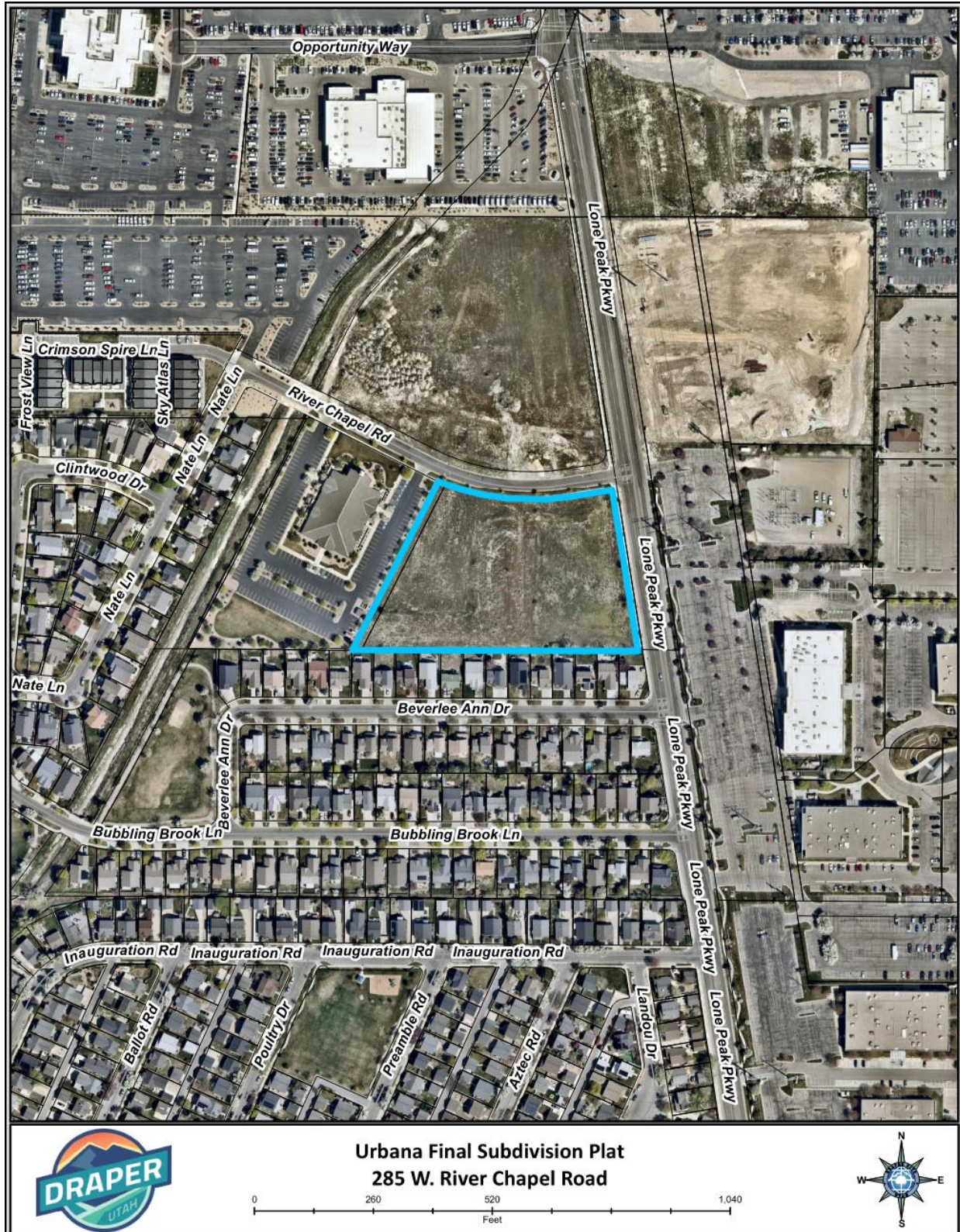


EXHIBIT C
AERIAL MAP

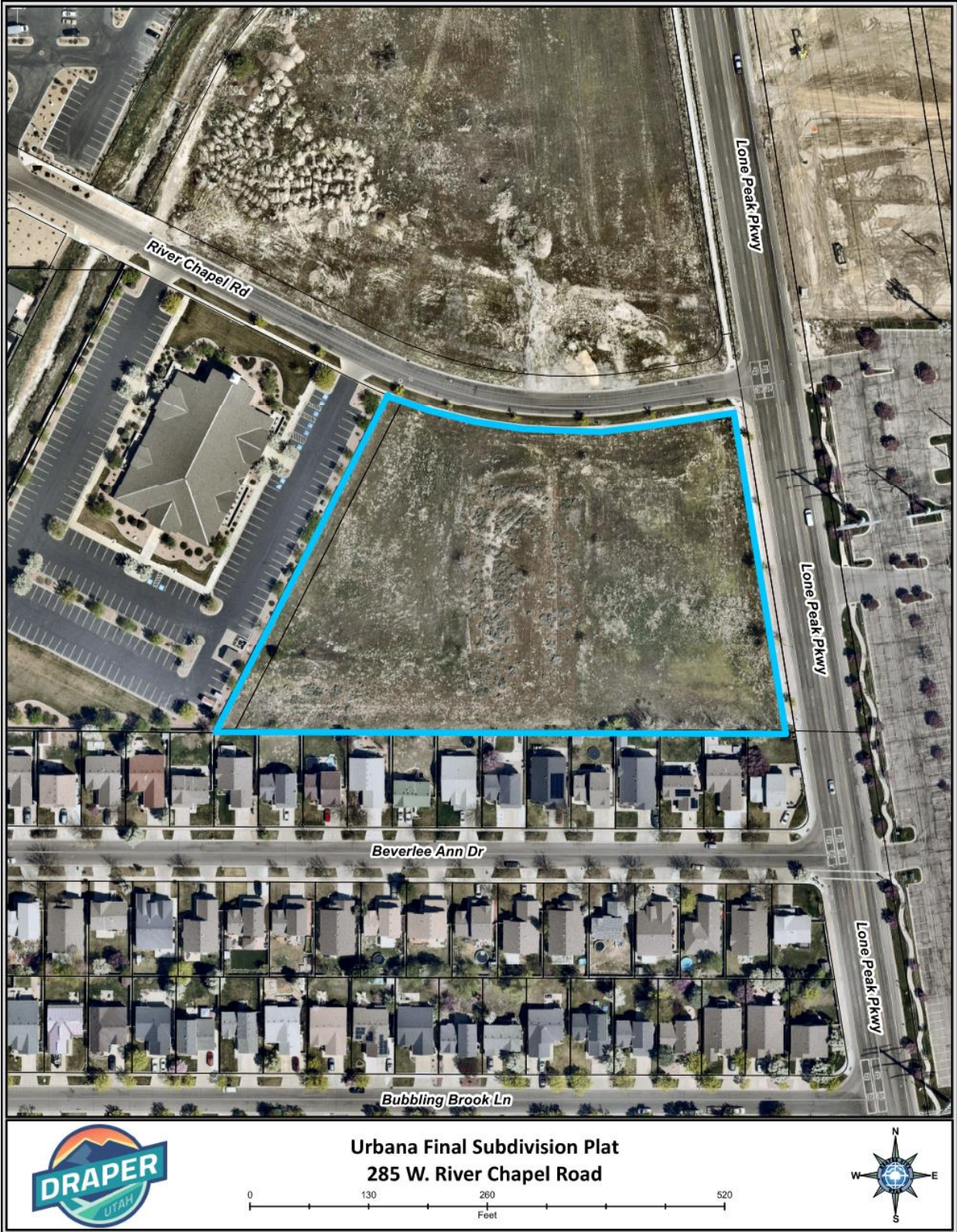


EXHIBIT D
LAND USE MAP

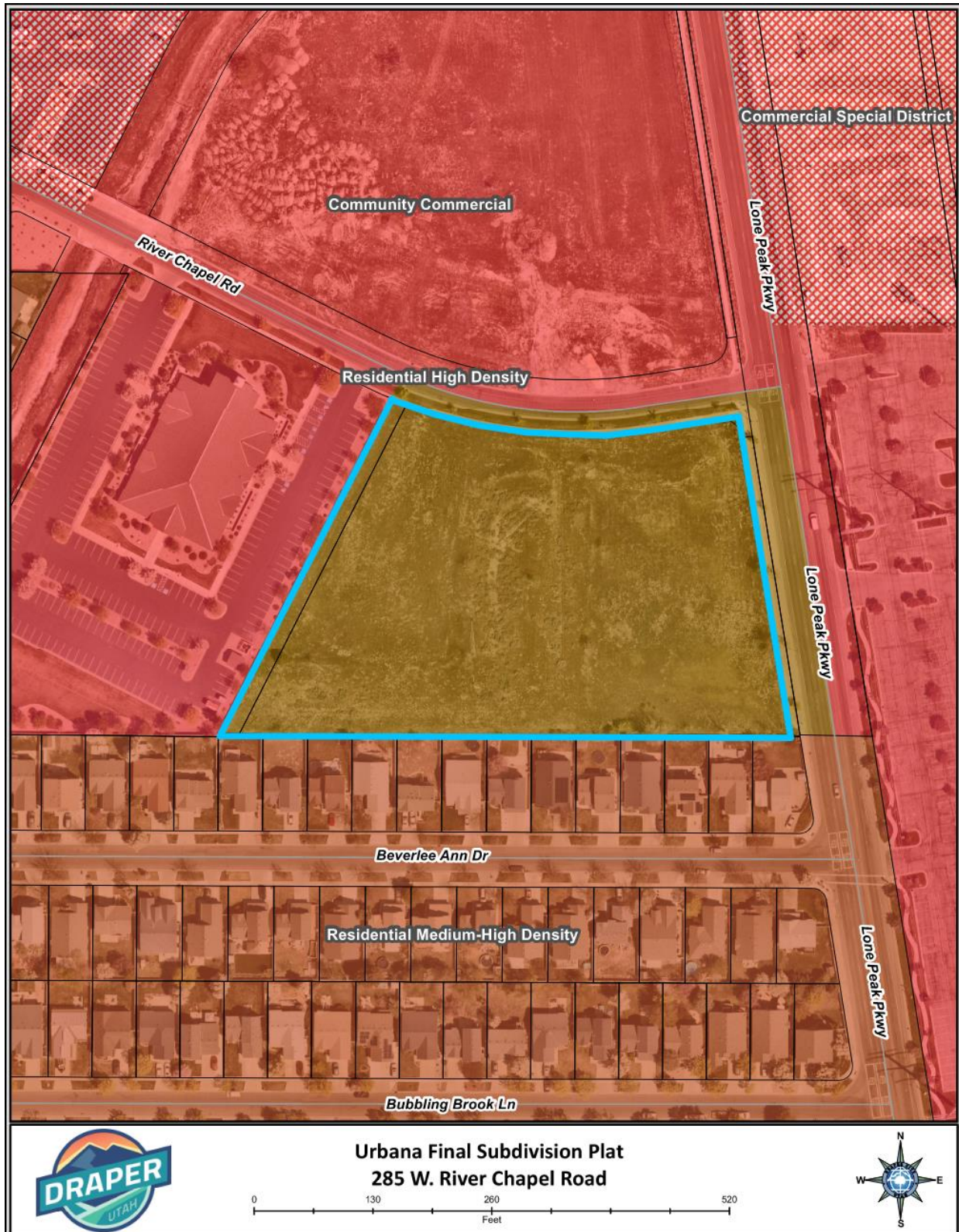


EXHIBIT E
ZONING MAP

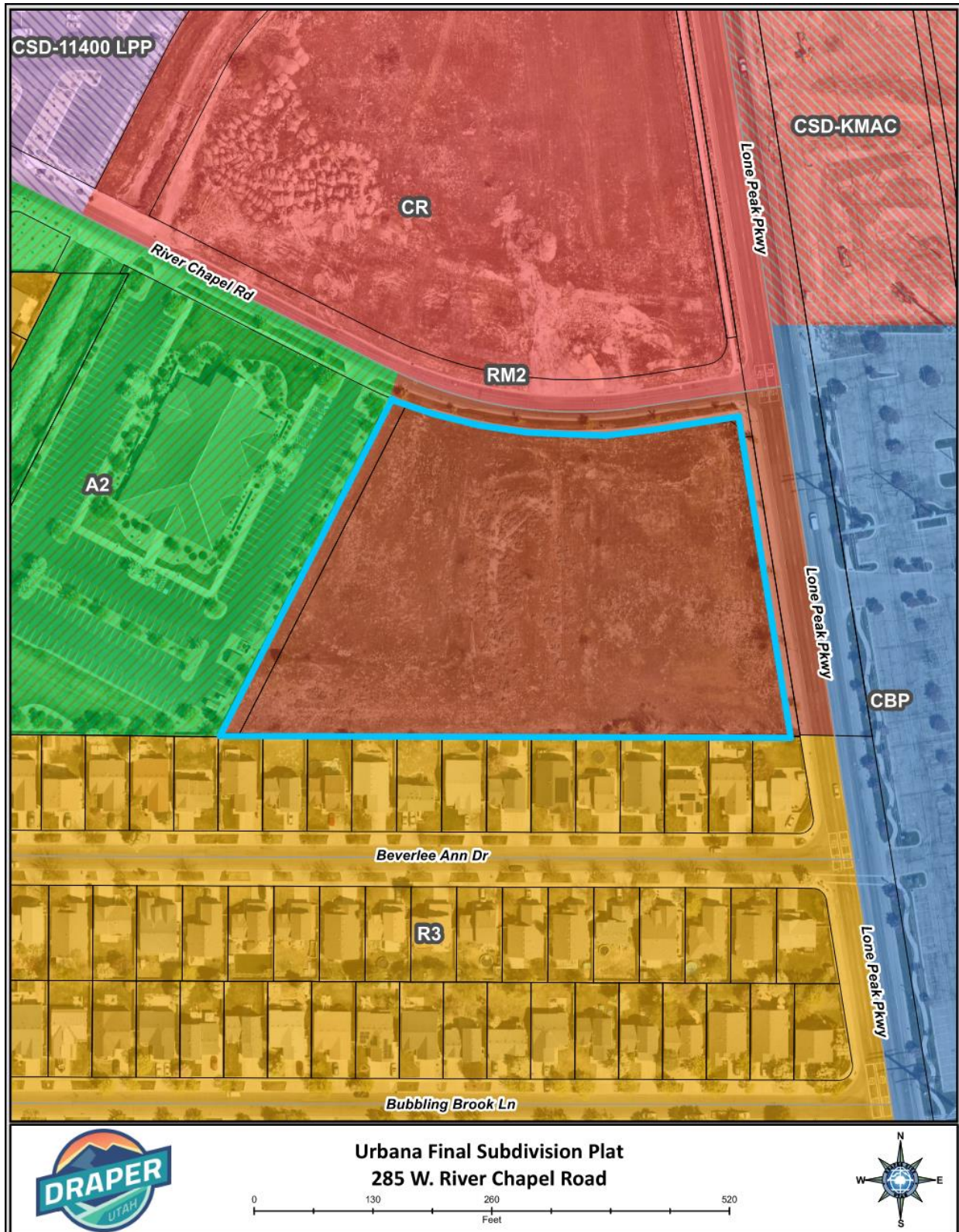
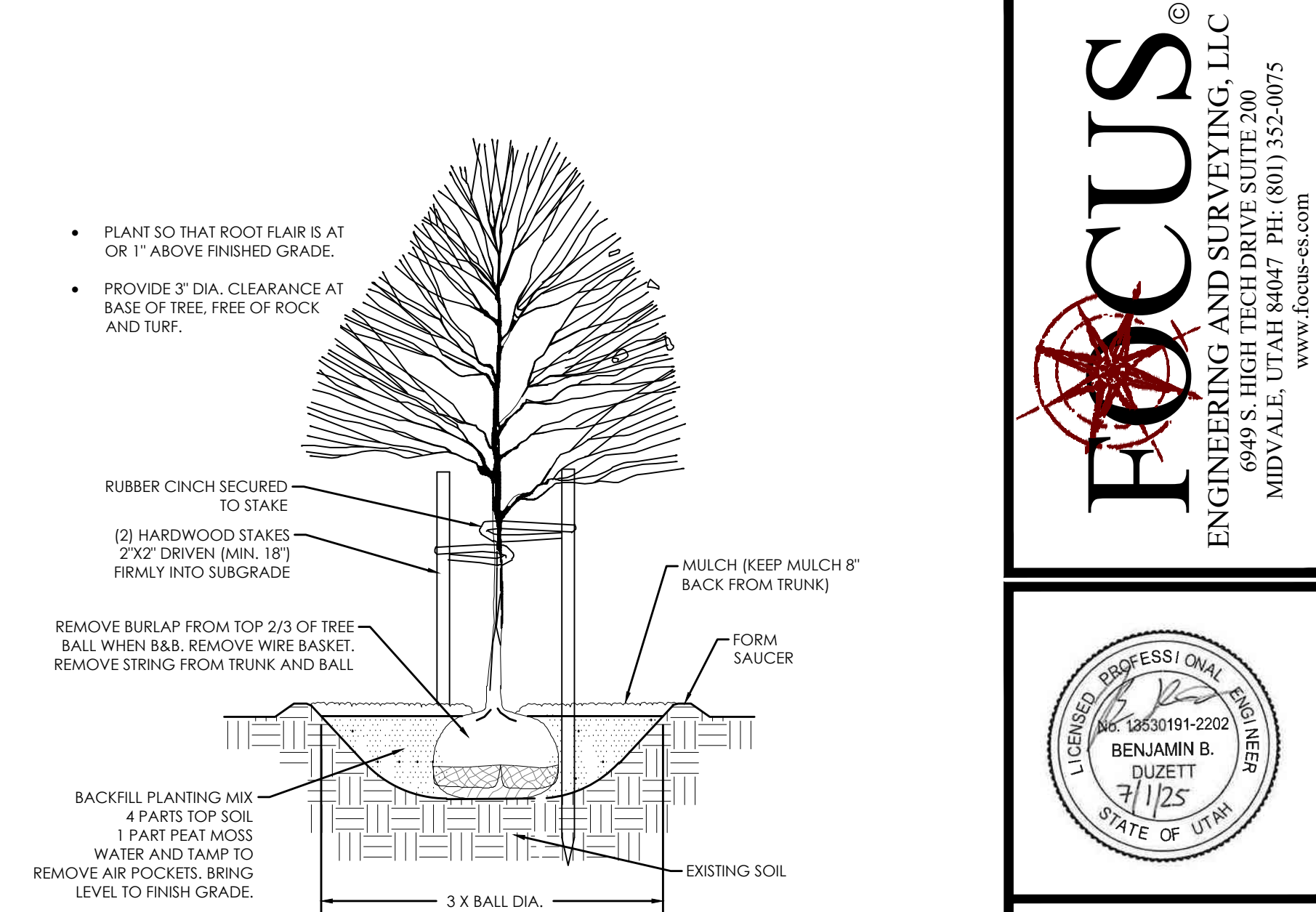
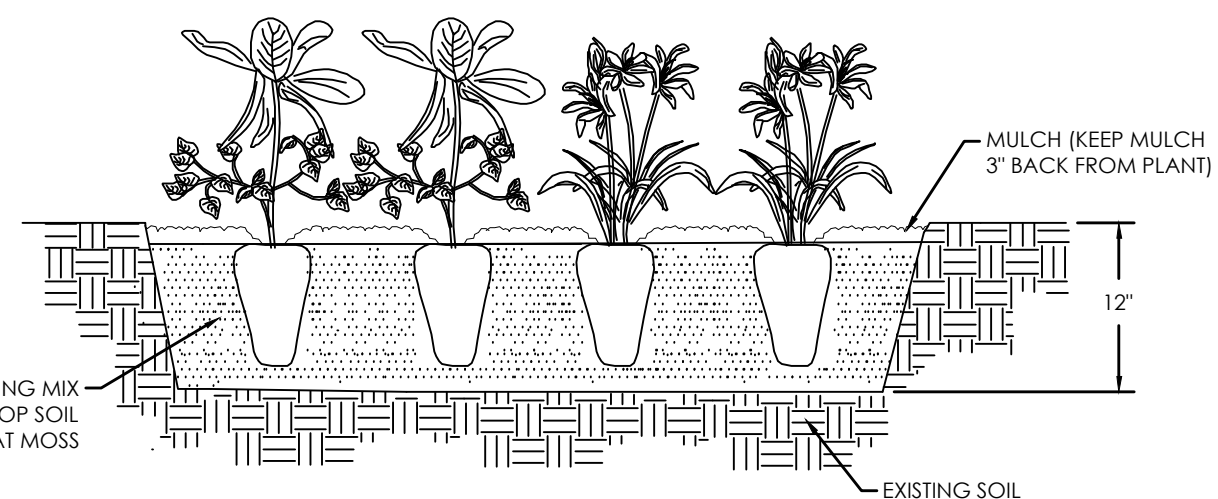


EXHIBIT F
FINAL SUBDIVISION PLAT

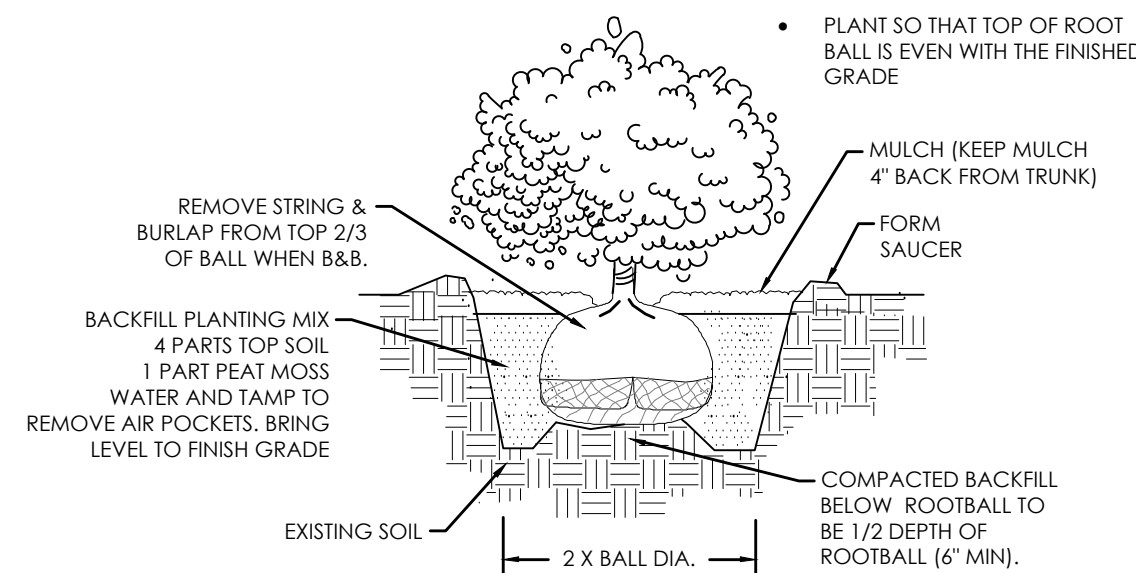
EXHIBIT G
STREET TREE PLAN



A NOT TO SCALE






D NOT TO SCALE



NOT TO SCALE

REFERENCE NOTES SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>DESCRIPTION</u>	<u>QTY</u>
	1	DECORATIVE ROCK MULCH	12,697 sf
	2	STEEL EDGING	58 lf
	3	TURF GRASS	5,078 sf

LANDSCAPE NOTES

1. LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
2. TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF ROCK TYPE(S) SPECIFIED IN THE REFERENCE NOTE SCHEDULE. PLACE ROCK OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
3. INSTALL STEEL EDGING FOR MOW STRIPS BETWEEN LAWN AREAS AND PLANTING BEDS.
4. CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL AS HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNERS REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
6. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.

ITEM	AMOUNT	%
PROPERTY SIZE (ACRES, SQFT)	173,379 SQ.FT. (3.98 AC.)	
OVERALL LANDSCAPE SQFT.	17,786 SQ.FT.	100%
TREES IN LAWN AREAS	LAWN AREAS MUST BE UNOBSTRUCTED	0
PAVEMENT TREES 1 PER EVERY 40' OF FRONTAGE	6.14 FT. / 30' IS TREES	17
LAWN AREAS LESS THAN 8 FEET WIDE	NO LAWN AREAS LESS THAN 8 FT.	0
LAWN AREAS ON SLOPES GREATER THAN 25% OR 4:1	NO LAWN AREAS ON THESE CONDITIONS	0
LAWN AREAS SHALL NOT EXCEED 35%	4,943 SQ.FT.	28%
ROCK MULCH & SHRUBS WITHIN PARK-STRIPS	3,568 SQ.FT.	20%
LIVE PLANT MATERIAL: SOFT	(75%)	~75%

