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**Development Review Committee**

1020 East Pioneer Road

Draper, Utah 84020

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**STAFF REPORT**

January 14, 2026

**To:** Jennifer Jastremsky, Zoning Administrator

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Approved

Date

**From:** Development Review Committee

**Prepared By:** Maryann Pickering, AICP, Planner III  
Planning Division  
Community Development Department  
(801) 576-6391 or [maryann.pickering@draperutah.gov](mailto:maryann.pickering@draperutah.gov)

**Re: Walmart EV – Amended Site Plan Request**

Application No.: 2025-0175-SP

Applicant: Julie Hekking of Kimley-Horn, representing Walmart Real Estate Business Trust

Project Location: 1360 E. Draper Parkway

Current Zoning: CC (Community Commercial) Zone

Acreage: 6.49 acres (approximately 282,704 sq. ft.)

Request: Request for approval of a Site Plan Amendment to install electric vehicle charging stations in the existing parking lot.

**SUMMARY AND BACKGROUND**

This application is a request for approval of a Site Plan Amendment for approximately 6.49 acres located on the south side of Draper Parkway, at approximately 1360 E. Draper Parkway (Exhibits B and C). The property is currently zoned CC. The applicant is requesting that a Site Plan Amendment be approved to allow for the installation of electric vehicle charging stations in the existing parking lot.

The proposed site contains an existing Walmart Neighborhood Market. The site was developed with the grocery store in 2003 and has remained in use since that time.



## ANALYSIS

### *General Plan and Zoning.*

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Growth Area (GA)	Exhibit E
Current Zoning	CC	Exhibit F
Adjacent Zoning		
East	CC	
West	CC	
North	CC	
South	Town Center (TC)	

The Growth Area land use designation is characterized as follows:

### *Growth Area*

LAND USE DESCRIPTION	
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Requires a commitment to exceptional levels of quality and a specific plan of development that meets the City's approval</li> <li>• Reduces automobile dependency with added benefits of reducing traffic congestion and improving air quality</li> <li>• Emphasis is placed on walking/bicycling to insure its effectiveness in the overall circulation pattern of the site</li> <li>• Scale based on the area's character, to encourage secondary forms of circulation</li> <li>• Not bisected by arterial streets</li> <li>• A well-conceived site, with access to and integration with mass transit facilities</li> <li>• Buildings designed per the standards of the City's design guidelines</li> <li>• Amenities provided as per the quality design standards.</li> <li>• Uniform design elements and themes, but a variety of expression</li> <li>• Campus-style development, well landscaped</li> <li>• Integration of uses varying within areas and buildings</li> <li>• A mix of uses for day and evening activity</li> <li>• Aesthetic signage and lighting; limited use of pole signs</li> <li>• Limited traffic access points</li> <li>• Common off-street traffic circulation and parking</li> <li>• Pedestrian access within and between projects</li> </ul>
<b>LAND USE MIX</b>	<ul style="list-style-type: none"> <li>• Multifamily residential</li> <li>• Office</li> <li>• Commercial</li> <li>• Industrial/manufacturing</li> </ul>
<b>COMPATIBLE ZONING</b>	Underlying Zoning
<b>OTHER CRITERIA</b>	<ul style="list-style-type: none"> <li>• Multifamily residential density is determined by the quality of the proposed development.</li> </ul>

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CC zone is to *“provide areas where commercial uses may be established which are generally oriented toward local residents rather than out of town patrons. Uses typical of this zone include planned retail and office development.”*

Site Plan Layout. The proposed site plan (Exhibit G) shows the addition of eight electrical vehicle charging stations along the northernmost parking aisle in the existing parking lot. The existing parking will be reconfigured to accommodate the electric vehicle charging stations. The charging stations will be installed where there are existing parking stalls. The number of stalls will be reduced from 14 to 10 in this area. However, an additional 7 new parking stalls will be provided on the north side of the building adjacent to the pharmacy drive through. Overall, an additional 3 parking stalls will be provided on the site.

**Table 2 Site Plan Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Lot/Parcel Size	n/a	6.49 (existing)	
Street Frontage	50 ft	475 ft	
Setbacks			
Front	10 ft*	29 ft	*Setback per Chapter 23 (Landscaping)
Rear	30 ft*	116 ft	Setback per Chapter 23 (Landscaping)
West Side	10 ft*	99 ft	Setback per Chapter 23 (Landscaping)
East Side	10 ft*	328 ft	Setback per Chapter 23 (Landscaping)

Landscaping and Lot Coverage. There will be two landscape islands modified as part of the project (Exhibit H). One landscape island will be removed along a modified row of parking; however, the number of stalls is being reduced in this area so the single remaining landscaped island will meet minimum code requirements. Removing the existing island will cause the site to be deficient with the minimum landscape percentage required for the site. However, additional landscaping to make up for the removed landscape island will be provided along the property frontage adjacent to Draper Parkway. The proposed electrical equipment boxes will be screened with landscaping as required by ordinance. The applicant has provided a plan which shows plants that are eight feet tall adjacent to the equipment that is also eight feet tall. A total of nine shrubs will be planted for the screening of the equipment.

**Table 3**                      **Landscaping Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Lot Coverage	50%	No change	
Overall Landscaping Coverage	20%	No change	Removed quantities being replaced.
Parking Lot Landscaping	7%	No change	Removed quantities being replaced.
Perimeter Landscaping	10 ft	Existing	
Street Trees	From approved tree list	Existing	

**Parking.** According to the site plan (Exhibit G), 14 stalls in the proposed EV charging area will be modified to 10 stalls to accommodate the EV charging units. However, there are existing and proposed stalls to the west of the pharmacy drive through. A total of seven new stalls will be added to the existing eight stalls for a total of 15 stalls. Overall, the site will meet the minimum requirements once the project is complete.

**Table 4**                      **Parking Lot Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Parking Required (Min/Max)			
Retail	87-107 for all users	168 Existing	Parking is shared with building to east

**Criteria For Approval.** The criteria for review and potential approval of a Site Plan Amendment request is found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- E.     Standards For Approval: The following standards shall apply to the approval of a site plan:
  - 1.     The entire site shall be developed at one time unless a phased development plan is approved.
  - 2.     A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
  - 3.     The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.



4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
  5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.
- H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:
1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:
    - a. The proposed use is consistent with uses permitted on the site;
    - b. Existing uses were permitted when the site plan was approved, or have received a conditional use permit;
    - c. The proposed use and site will conform to applicable requirements of this Code;
    - d. The proposed expansion meets the approval standards of subsection E of this section;
    - e. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and
  2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.
  3. If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.
  4. Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.

## **REVIEWS**

**Planning Division Review.** The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

**Building Division Review.** The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from him, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

### **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

The findings for approval as are follows:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. Additional findings from criteria for approval listed above.

## DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

**Brien Maxfield**

Digitally signed by Brien Maxfield  
DN: C=US,  
E=brien.maxfield@draperutah.gov,  
O=Draper, OU=Public Works -  
Engineering, CN=Brien Maxfield  
Date: 2026.01.15 09:49:38-07'00'

Draper City Public Works Department

**Don Buckley**

Digitally signed by Don Buckley  
DN: C=US, E=don.buckley@draper.ut.us,  
O=Draper City Fire Department, OU=Fire  
Marshal, CN=Don Buckley  
Date: 2026.01.15 10:09:23-07'00'

Draper City Fire Department

**Reid Gerritsen**

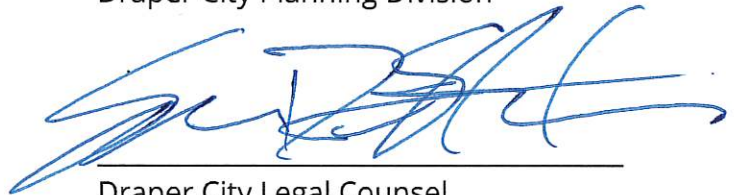
Digitally signed by Reid Gerritsen  
DN: C=US,  
E=reid.gerritsen@draperutah.gov,  
OU=Draper City Building, CN=Reid Gerritsen  
Reason: I attest to the accuracy and integrity  
of this document  
Contact Info: 801.576.6534  
Date: 2026.01.15 09:25:22-07'00'

Draper City Building Division

**Todd Draper**

Digitally signed by Todd Draper  
DN: C=US,  
E=todd.draper@draperutah.gov,  
O=Draper City Community  
Development Department,  
OU=Planning and Zoning,  
CN=Todd Draper  
Date: 2026.01.15 09:15:08-07'00'

Draper City Planning Division



Draper City Legal Counsel

## EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

### Planning Division Review.

1. No additional comments.

### Building Division Review.

1. No additional comments.

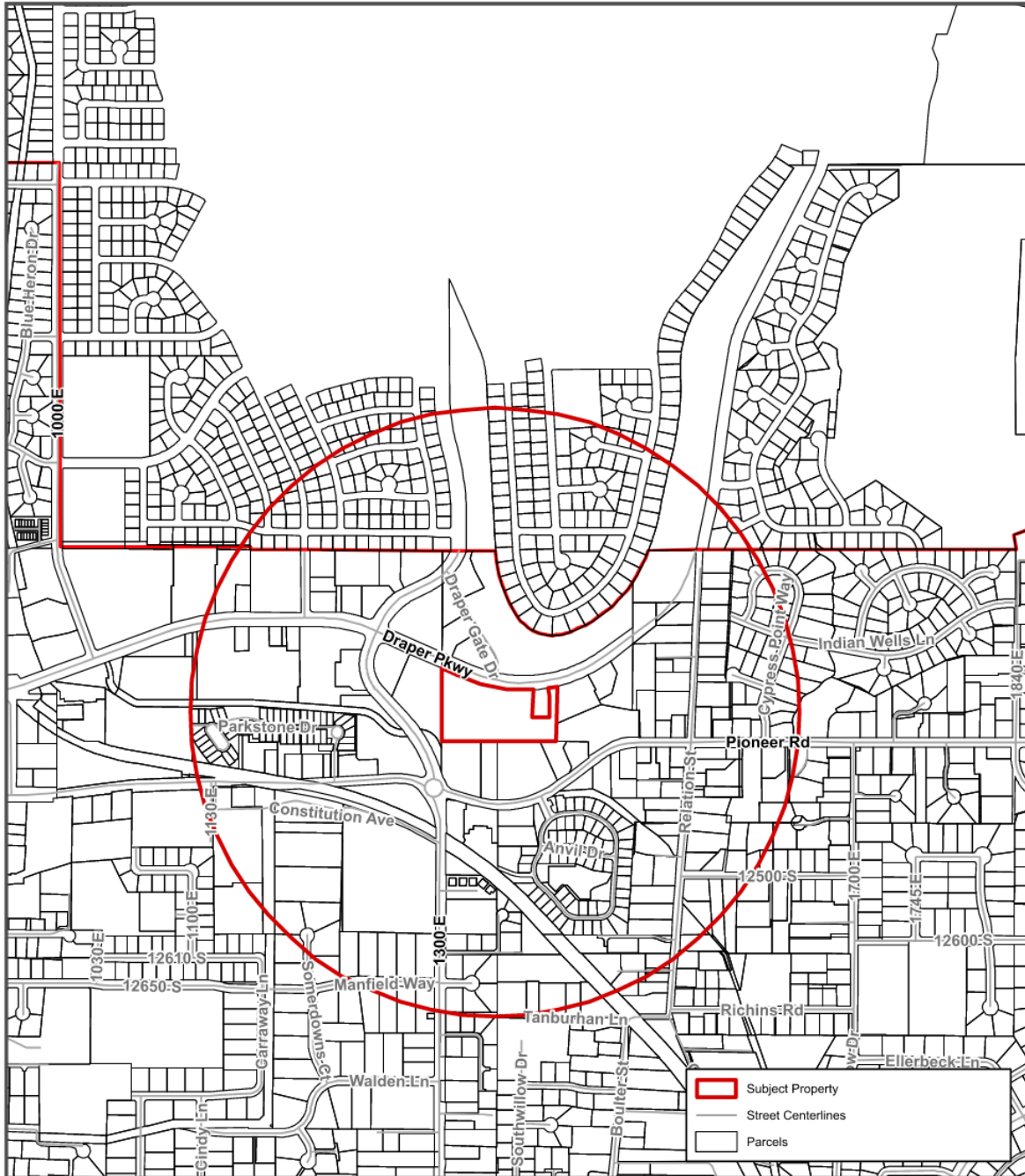
### Engineering and Public Works Divisions Review.

1. No additional comments.

### Fire Division Review.

1. No additional comments.

## EXHIBIT B VICINITY MAP



Date Printed: 12/9/2025

### Walmart EV Charging Stations Site Plan

1060 E. Draper Parkway

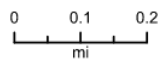





EXHIBIT C  
AERIAL MAP





Date Printed: 12/9/2025

**Walmart EV Charging Stations Site Plan**

1060 E. Draper Parkway

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mi

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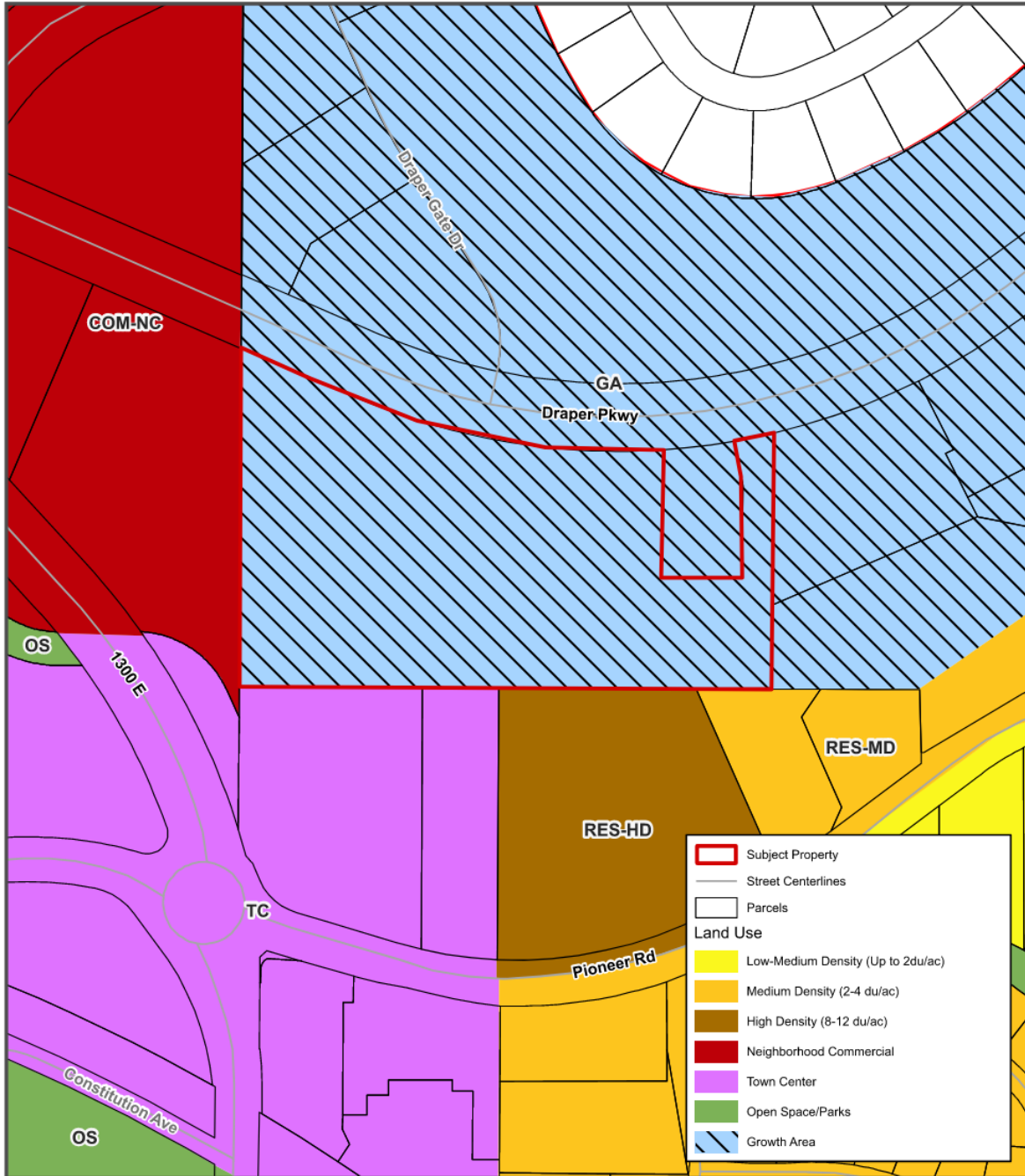




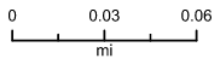
EXHIBIT D  
LAND USE MAP



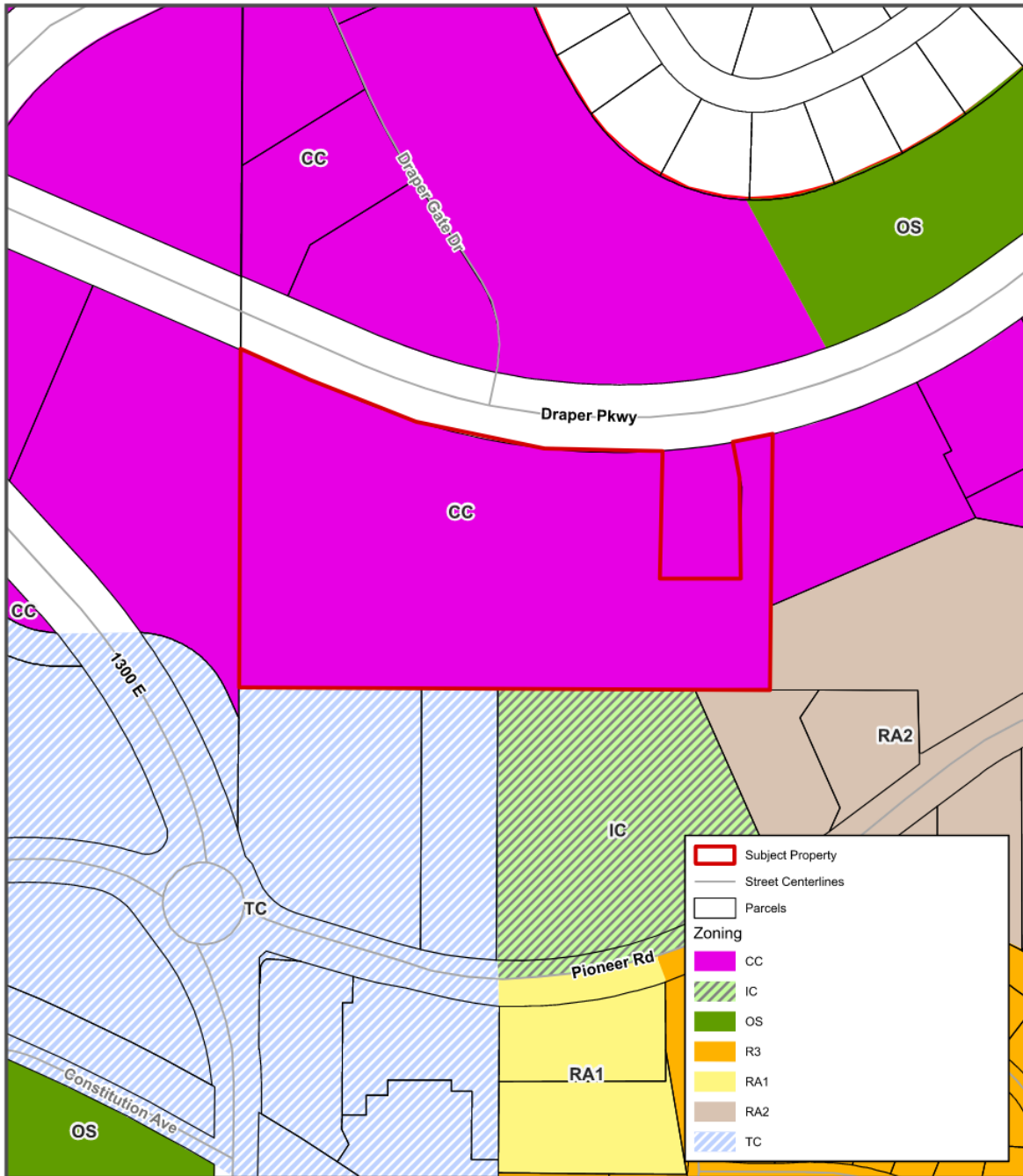
Date Printed: 12/9/2025

**Walmart EV Charging Stations Site Plan**

1060 E. Draper Parkway



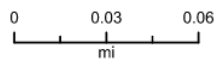
# EXHIBIT E ZONING MAP



Date Printed: 12/9/2025

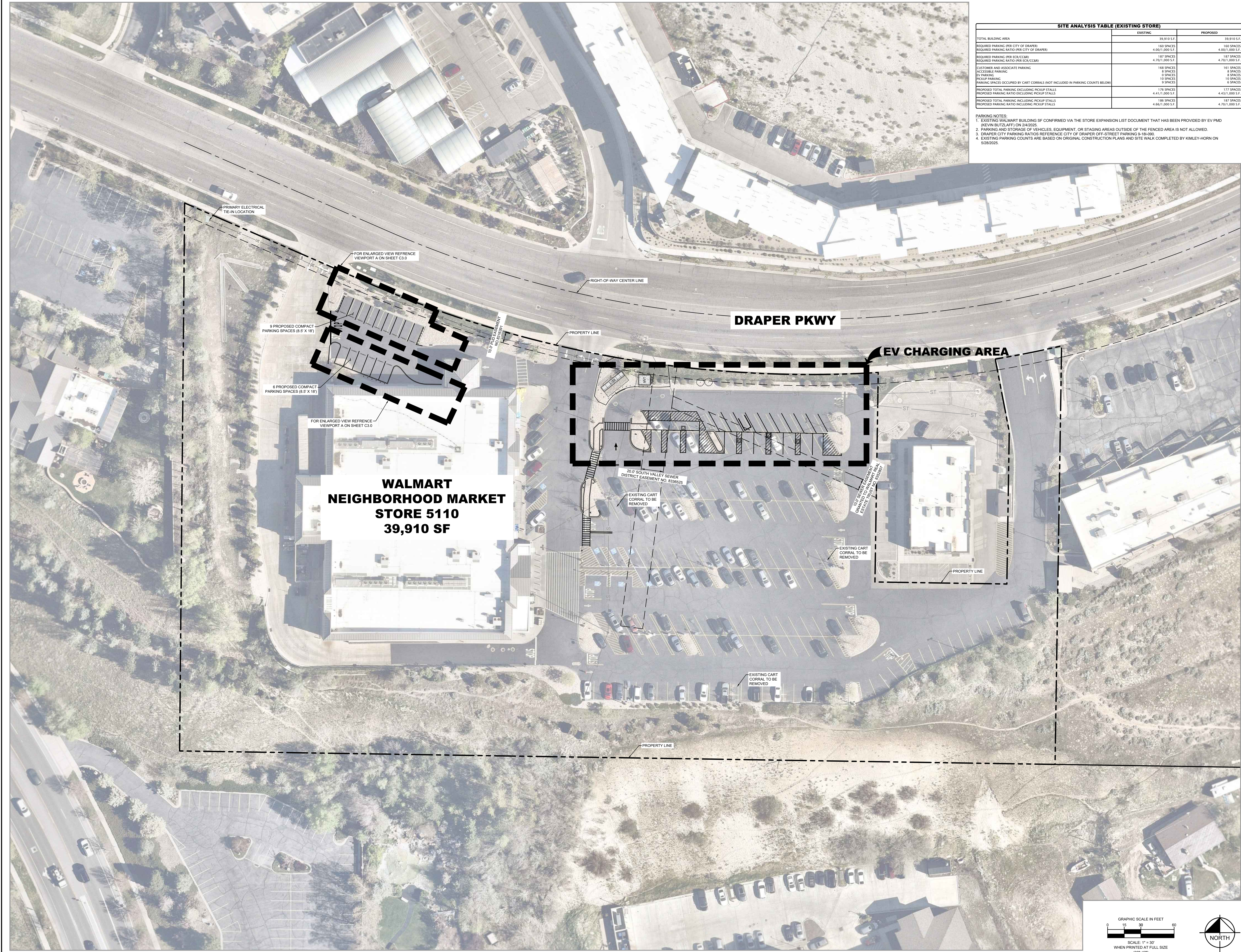
## Walmart EV Charging Stations Site Plan

1060 E. Draper Parkway



**EXHIBIT F**  
**SITE PLAN**





SITE ANALYSIS TABLE (EXISTING STORE)			
	EXISTING	PROPOSED	
TOTAL BUILDING AREA	39,910 S.F.	39,910 S.F.	
REQUIRED PARKING (PER CITY OF DRAPER)	160 SPACES	160 SPACES	
REQUIRED PARKING RATIO (PER CITY OF DRAPER)	4.00/1,000 S.F.	4.00/1,000 S.F.	
REQUIRED PARKING (PER ECU/CCAR)	187 SPACES	187 SPACES	
REQUIRED PARKING RATIO (PER ECU/CCAR)	4.70/1,000 S.F.	4.70/1,000 S.F.	
CUSTOMER AND ASSOCIATE PARKING	168 SPACES	167 SPACES	
ACCESSIBLE PARKING	8 SPACES	8 SPACES	
PICKUP PARKING	10 SPACES	10 SPACES	
PARKING SPACES OCCUPIED BY CART CORALS (NOT INCLUDED IN PARKING COUNTS BELOW)	8 SPACES	8 SPACES	
PROPOSED TOTAL PARKING EXCLUDING PICKUP STALLS	176 SPACES	177 SPACES	
PROPOSED PARKING RATIO EXCLUDING PICKUP STALLS	4.41/1,000 S.F.	4.43/1,000 S.F.	
PROPOSED TOTAL PARKING INCLUDING PICKUP STALLS	186 SPACES	187 SPACES	
PROPOSED PARKING RATIO INCLUDING PICKUP STALLS	4.66/1,000 S.F.	4.70/1,000 S.F.	

PARKING NOTES:  
1. EXISTING WALMART BUILDING SF CONFIRMED VIA THE STORE EXPANSION LIST DOCUMENT THAT HAS BEEN PROVIDED BY EV PMD (KEVIN BUTZLAFF) ON 2/4/2025.  
2. PARKING AND STORAGE OF VEHICLES, EQUIPMENT, OR STAGING AREAS OUTSIDE OF THE FENCED AREA IS NOT ALLOWED.  
3. DRAPER CITY PARKING RATIOS REFERENCE CITY OF DRAPER OFF-STREET PARKING 9-18-090.  
4. EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS AND SITE WALK COMPLETED BY KIMLEY-HORN ON 5/28/2025.

STIPULATION FOR REUSE  
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT:  
DRAPER, UT 84020 CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON  
06/02/2025 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT  
PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR  
REFERENCE OR SAMPLE ON ANOTHER PROJECT REQUIRES THE  
SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS.  
REPRODUCTION OF THIS DRAWING FOR REUSE BY ANY OTHER  
PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

PUBLIC EV  
DOCUMENTS WITHOUT SIGNATURE  
AND REQUIRED SEAL OF ADR / EOR  
ARE NOT FOR CONSTRUCTION

CONSULTANTS

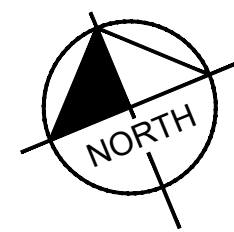


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DRAWN BY:	JA	
CHECKED BY:	JG	
PROTO CYCLE:	TBD	
DOCUMENT DATE:	10/01/2025	









**SETBACK NOTE**

CONTRACTOR TO VERIFY THAT LOCATIONS OF ALL PROPOSED ELECTRICAL EQUIPMENT ARE IN COMPLIANCE WITH ALL LOCAL CODES, SETBACKS, AND BUFFERS.

**EXISTING UTILITY NOTE**

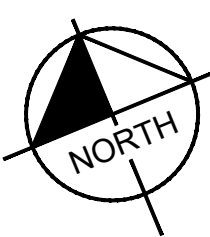
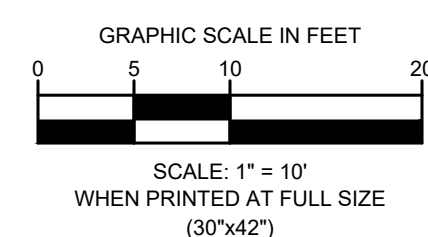
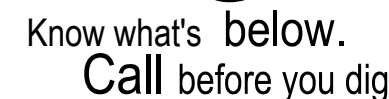
THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED UPON AVAILABLE RECORDS AND FIELD SUE. THE CONTRACTOR MUST FIELD-DETERMINE THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED INFRASTRUCTURE TO THE ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

## CONSTRUCTION NOTES

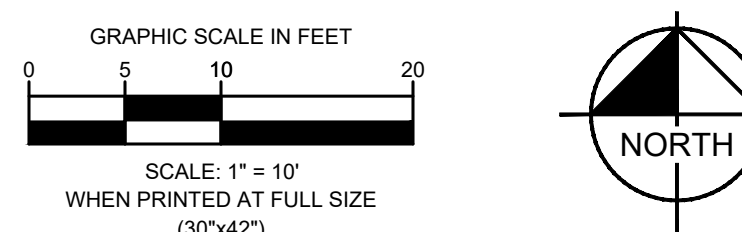
1. SEE PAVING AND ADDITIONAL CONSTRUCTION NOTES ON SHEET G1.0.
2. CONTRACTOR TO BORE AND / OR HAND-TRENCH CONDUIT AS REQUIRED PER NEC.
3. ALL EQUIPMENT SHALL BE INSTALLED PER CLIENT DESIGN STANDARDS.
4. CONTRACTOR TO RETURN ALL AREAS OF DISTURBANCE BACK TO EXISTING GRADE AND UP TO OR BETTER THAN EXISTING CONDITIONS.
5. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
6. ANY WORK OUTSIDE OF THE CONSTRUCTION FENCE NEEDS TO BE COORDINATED WITH THE STORE MANAGER AND MUST ALLOW ACCESS FOR WALMART TRUCKS AND VENDOR DELIVERY VEHICLES.

[illegible]

CIVIL KEYNOTES	
1	PROPOSED ABT TERRA 400-UL DFC# CHARGER(S), REFER TO SHEET G2.0 FOR MORE INFORMATION. EQUIPMENT FOUNDATION PER DETAIL 3, SHEET C7.0.
2	PROPOSED "MSB-EV" SWITCHBOARD. EQUIPMENT FOUNDATION PER DETAIL 2, SHEET C7.0. SWITCHBOARD OPENINGS PER DETAIL 6, SHEET C7.0. REFER TO SHEET E1.0 FOR MORE INFORMATION.
3	PROPOSED UTILITY TRANSFORMER AND PAD. PER DETAIL 2, SHEET C7.0.
4	PROPOSED PARKING SLAB PAVEMENT STRIPING. INSTALL 4" WIDE YELLOW STRIPING WITH A WET FILM THICKNESS OF 15 MILS AND A DRY FILM THICKNESS OF 7.5 MILS PER COAT. UNLESS OTHERWISE NOTED.
5	ACCESSIBLE EV CHARGER ACCESS ASSEMBLY PAVEMENT STRIPING. ACCESS ASSEMBLY MUST LEAD TO ACCESSIBLE PATH. REFER TO DETAIL 9, SHEET C7.1.
6	INSTALL "EV CHARGING" AND "USE LAST ADAT" SIGN PER DETAIL 3, SHEET C7.1. SIGN MOUNTING AND BASE WITH BOLLARD PER DETAIL 1, SHEET C7.1.
7	INSTALL 6" CURB & GUTTER PER DETAIL 9, SHEET C7.1. HEIGHT PER DETAIL C4.0.
8	PROPOSED RELOCATED CURT CORRAL LOCATION
9	CONSTRUCT CONCRETE SIDEWALK PER DETAIL 6, SHEET C7.1. JOINTING PER DETAIL 7, SHEET C7.1.
10	INSTALL 7.33' WIDE CROSSWALK PER DETAIL 3, SHEET C7.1.
11	INSTALL EV CHARGING SIGN PER DETAIL 3, SHEET C7.1. SIGN MOUNTING AND BASE WITH BOLLARD PER DETAIL 1, SHEET C7.1.
12	PROPOSED UTILITY BOLLARD PER UTILITY DETAIL 11, SHEET C7.1. CONTRACTOR SHALL CONFIRM BOLLARD TYPE (PERMANENT OR REMOVABLE) WITH UTILITY REPRESENTATIVE PRIOR TO INSTALLATION.
13	INSTALL STOP FOR PEDESTRIANS (R1-58) SIGN PER DETAIL 3, SHEET C7.1. SIGN MOUNTING & BASE WITH BOLLARD PER DETAIL 1, SHEET C7.1.
14	INSTALL 04" F4XED PIPE BOLLARD PER DETAIL 8, SHEET C7.0.
15	PROPOSED ABT TERRA 400-UL ACCESSIBLE CHARGER(S), REFER TO SHEET G2.0 FOR MORE INFORMATION. EQUIPMENT FOUNDATION PER DETAIL 3, SHEET C7.0.
16	RELOCATED TREE / SHRUB
17	EV CHARGER ACCESS ASSEMBLY PAVEMENT STRIPING. REFER TO DETAIL 4 SHEET C7.1
18	LIMITS OF SEAL COAT. APPLY SEAL OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.









**EXHIBIT G**  
**LANDSCAPE PLAN**





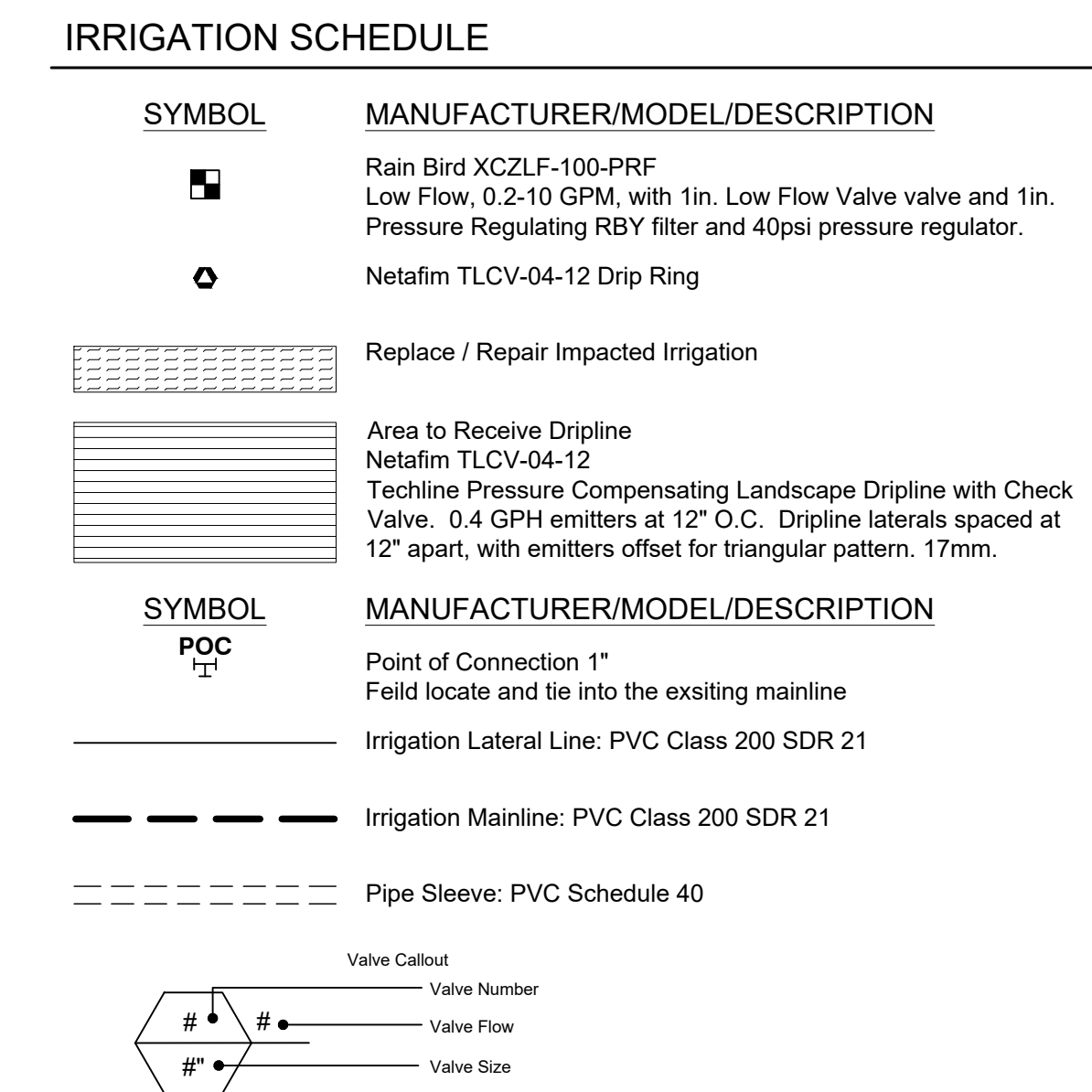












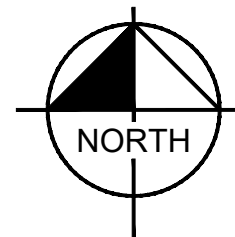
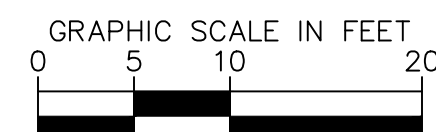
<p>THIS IRRIGATION PLAN IS DESIGNED TO THE FOLLOWING STANDARDS: 65 PSI AND 6.74 GPM. IF WATER PRESSURE DOES NOT MEET DESIGN SPECIFICATIONS A BOOSTER PUMP WILL BE REQUIRED AT COST OF CONTRACTOR. CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF SYSTEM HAS <math>&lt; 4.5</math> PSI THAN DESIGN PRESSURE.</p>
<p>QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO CONFIRM ALL QUANTITIES PRIOR TO BIDDING.</p> <p>REFERENCE MAXIMUM LATERAL DRIPLINE CHART TO DETERMINE MINIMUM NUMBER OF POINTS OF CONNECTION PER DRIP LINE ZONE.</p> <p>WHERE LAYOUT FLEXIBILITY EXISTS CENTER FEED LAYOUTS MUST BE USED. THIS ALLOW FOR EVEN FLOW OF WATER THROUGH THE ZONE.</p> <p>ECO-INDICATOR AIR RELIEF AND FLUSH VALVE TO BE PLACED IN ALL DRIP AREAS AT THE FURTHEST POINT OF EACH DRIP RUN.</p>
<p>ZONES LOWER THAN THE CAPACITY OF THE FLOW SENSOR ARE TO BE WIRED IN THE CONTROLLER WITH ANOTHER ZONE SO THAT THE FLOW SENSOR READS BOTH ZONES AS ONE ZONE IN ORDER TO MEET THE FLOW SENSORS LOWEST GPM REQUIREMENT. DRIP ZONES REQUIRED TO REMAIN PIPED AS SEPARATE ZONES.</p>

### EXISTING IRRIGATION NOTES

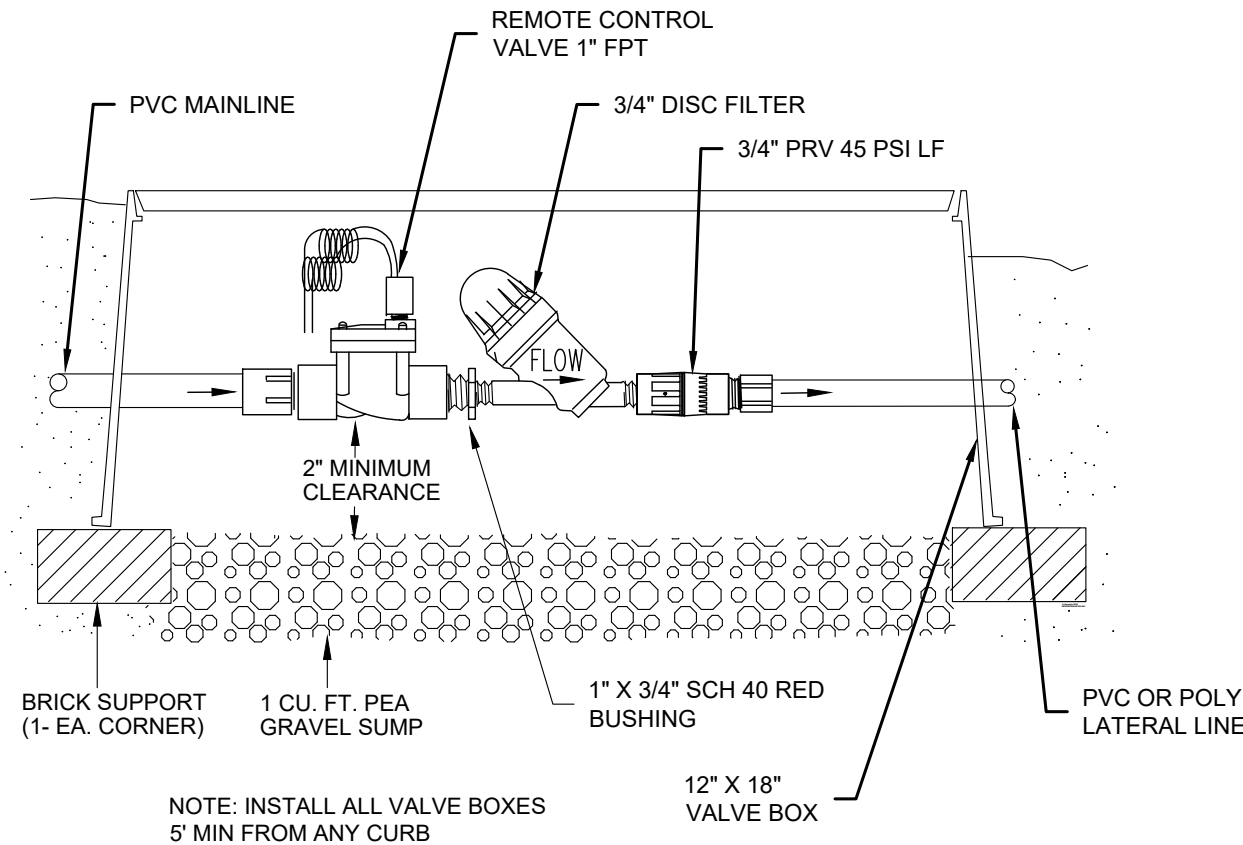
1. CONTRACTOR TO CONFIRM EXISTING SYSTEM SOURCE AND BACKFLOW ARE FULLY OPERATIONAL. CONTRACTOR SHALL VERIFY CURRENT EXISTING CONDITION, AND FUNCTIONALITY OF EXISTING SYSTEM AND SHALL NOTIFY OWNER IF SYSTEM DOES NOT CURRENTLY MEET REQUIREMENTS TO ACCOMMODATE THE MODIFICATIONS AND ADDITIONS SHOWN HEREIN
2. CONTRACTOR TO CONFIRM EXISTING BACKFLOW IS TO SERVE IRRIGATION SYSTEM ONLY. EXISTING BACKFLOW MUST BE CAPABLE OF WITHSTANDING ANY POSSIBILITY OF BACKFLOW FROM BEING DIRECTED INTO THE BUILDING. IF THE EXISTING BACKFLOW IS NOT A DEDICATED IRRIGATION BACKFLOW, CONTRACTOR IS TO INSTALL A NEW BACKFLOW DEVICE TO PROTECT THE BUILDING FROM ANY POSSIBILITY OF BACKFLOW
3. CONFIRM EXISTING CONTROLLER ZONE AVAILABILITY. IF CONTROLLER CANNOT HANDLE PROPOSED ZONES, CONTACT IRRIGATION DESIGNER IMMEDIATELY.
4. CAP EXISTING LINES WHERE NECESSARY FOR CONSTRUCTION
5. MAINLINE APPROXIMATE LOCATION AS SHOWN. CONTRACTOR TO LOCATE EXACT LOCATION AND UTILIZE PROTECT MAINLINE IN PLACE DURING CONSTRUCTION. CAP EXISTING MAINLINE AND LEAVE IN PLACE WHERE NECESSARY.
6. DO NOT TRENCH UNDER EXISTING TREES. HAND TRENCH LATERALLY TO INSTALL HEADS, DRIP, ETC.
7. DO NOT PROPOSED IRRIGATION TO MATCH EXISTING PRECIPITATION RATES. IF ZONES ARE COMBINED WITH EXISTING ZONES, NO DRIP AND HEADS ARE TO BE SAME ZONES.
8. ALL EXISTING IRRIGATION SHOWN TO REMAIN SHOULD BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO CONFIRM 100 PERCENT COVERAGE ON EXISTING LINES. MODIFY IF NEEDED.
9. MODIFY ZONES PER REVISED CHANGES. CAP LINES WHERE NECESSARY. ADD HEADS AS NEEDED. REPLACE HEADS/NOZZLES TO PROVIDE FULL COVERAGE.
10. DO NOT REMOVE EXISTING SLEEVED LINES UNDER PAVEMENT UNLESS SPECIFIED.
11. CONTRACTOR TO NUMBER EXISTING VALVES AND PROPOSED VALVES IN NUMERICAL ORDER STARTING FROM THE METER AND GOING IN A CLOCKWISE CIRCLE.
12. CONTRACTOR TO FIELD INVESTIGATE EXISTING CONDITIONS TO LOCATE EXISTING IRRIGATION LATERAL LINES AND PURPOSE FOR NEW IRRIGATION IN THE LANDSCAPE ISLAND

## IRRIGATION NOTES:

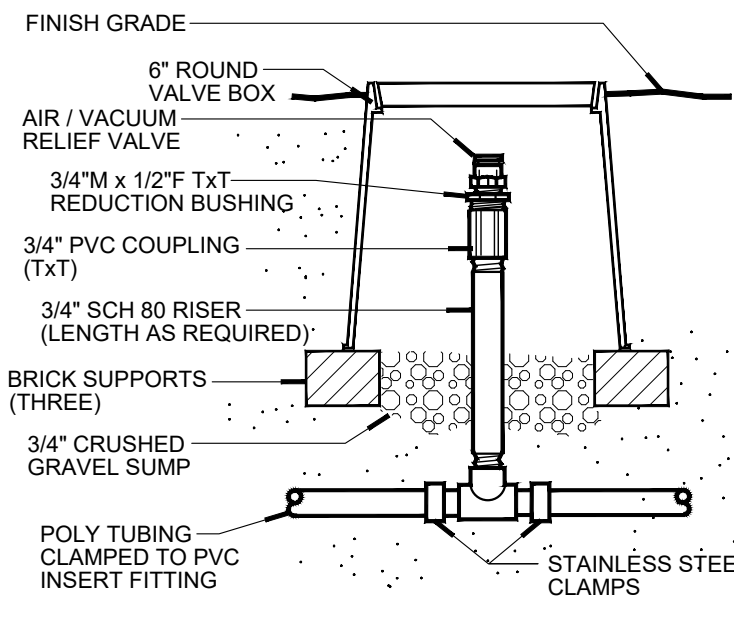
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
4. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
6. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
7. THIS IRRIGATION SYSTEM IS DESIGNED TO THE FOLLOWING STANDS: 8.74 G.P.M. STATIC WATER PRESSURE IS REPORTED OR ASSUMED TO BE 65 P.S.I..
8. CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE.
9. WHERE APPLICABLE IRRIGATION HEADS ARE TO BE ADJUSTED FOR COMPLETE COVERAGE WITH MINIMUM COVER SPRAY BEYOND LANDSCAPE AREAS.
10. EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
11. IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
12. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
13. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
14. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.
15. INSTALL ALL VALVE BOXES 1' MINIMUM FROM ANY CURB.







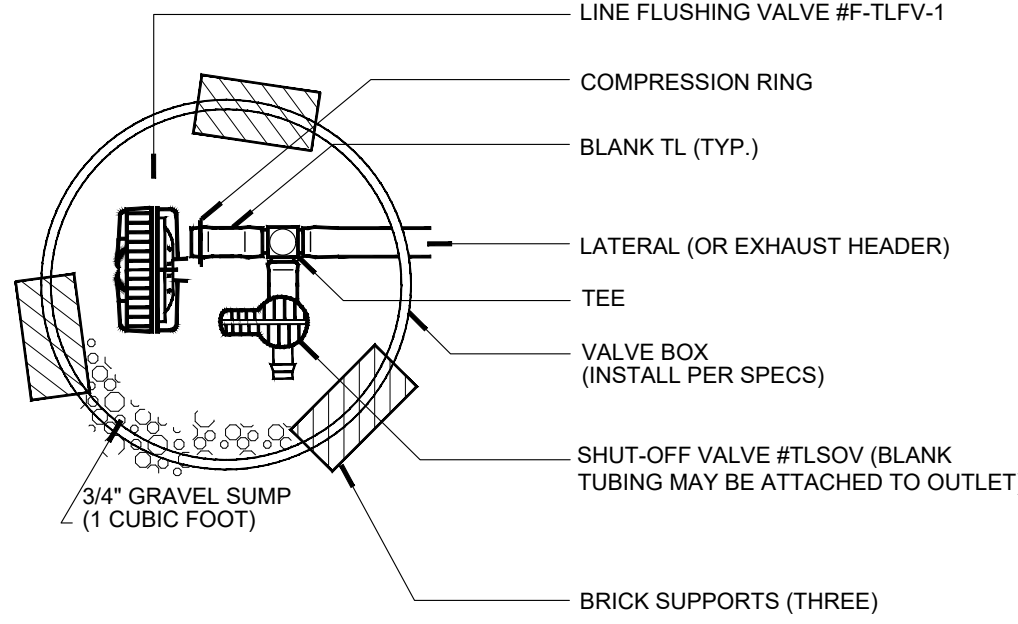
LOW FLOW ZONE CONTROL VALVE KIT  
DETAIL - N.T.S.



IRRIGATION CONTRACTOR TO INSTALL AN AIR RELIEF VALVE(S) AT ALL HIGH POINTS OF EACH ZONE (I.E. EVERY ISLAND WITHIN A ZONE SHALL RECEIVE AN AIR RELIEF VALVE).

AIR/VACUUM RELIEF

(PLUMBED TO POLY) DETAIL - N.T.S.  
ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.



CONTRACTOR TO INSTALL LINE FLUSH VALVES (1 PER 15 GPM OF ZONE FLOW). INSTALL AS FAR FROM SOURCE AS POSSIBLE.

LINE FLUSHING VALVE

W/ SHUT-OFF VALVE DETAIL - N.T.S.  
ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.

TECHLINE CV-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)						
TECHLINE DRIPPER SPACING		12"		18"		24"
DRIPPER FLOW RATE (GPH)		0.4	0.6	0.9	0.4	0.6
INLET PRESSURE (PSI)		0.4		0.6		0.9
15		109	86	65	151	120
25		325	256	194	459	361
35		409	322	244	579	456
45		469	369	280	664	523

TECHLINE-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)						
TECHLINE DRIPPER SPACING		12"		18"		24"
DRIPPER FLOW RATE (GPH)		0.4	0.6	0.9	0.4	0.6
INLET PRESSURE (PSI)		0.4		0.6		0.9
15		292	233	175	410	322
25		397	312	238	558	438
35		486	365	279	656	514
45		520	407	311	732	574

DRIPELINE LENGHTS

PIPE SIZE

SLEEVE SIZE

3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3, 4"	6"

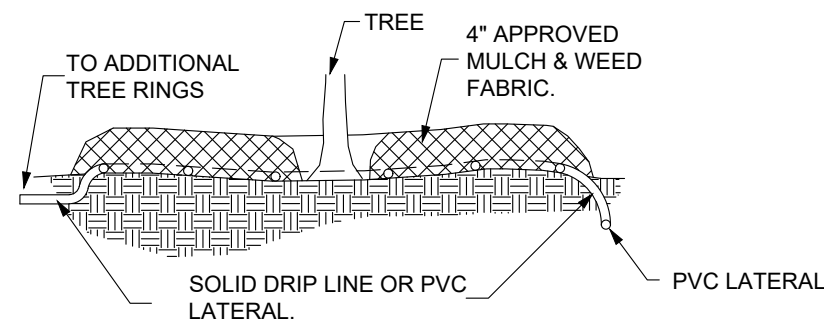
SLEEVE SIZE SCHEDULE

DRIP RING OUTPUT		T RUN TIMES (MIN)		GPA	
EMITTERS	FLOW (GPM)	30	45	60	
0.26	0.23	6.9	10.3	13.8	
0.4	0.35	10.5	15.8	21	
0.6	0.53	16	24	32	
0.9	0.79	24	35	47	

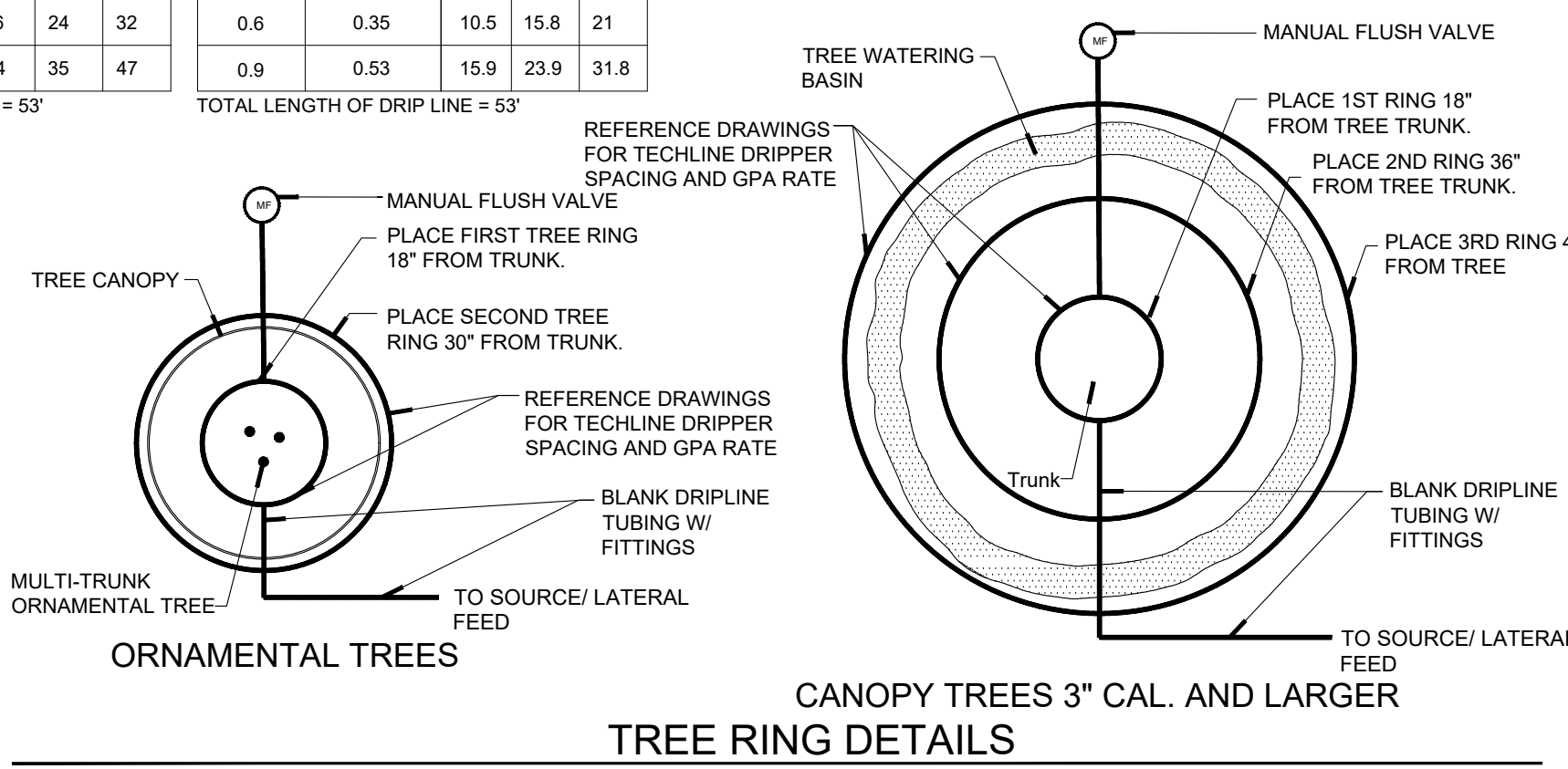
TOTAL LENGTH OF DRIP LINE = 53'

DRIP RING OUTPUT		T RUN TIMES (MIN)		GPA	
EMITTERS	FLOW (GPM)	30	45	60	
0.26	0.15	4.5	6.7	9	
0.4	0.23	6.9	10.4	13.8	
0.6	0.35	10.5	15.8	21	
0.9	0.53	15.9	23.9	31.8	

TOTAL LENGTH OF DRIP LINE = 53'

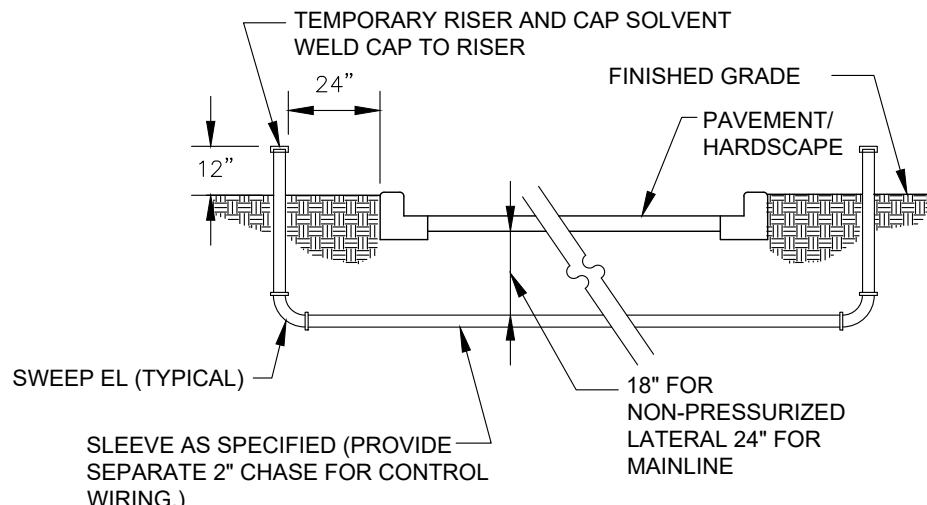


ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.



CANOPY TREES 3" CAL. AND LARGER  
TREE RING DETAILS

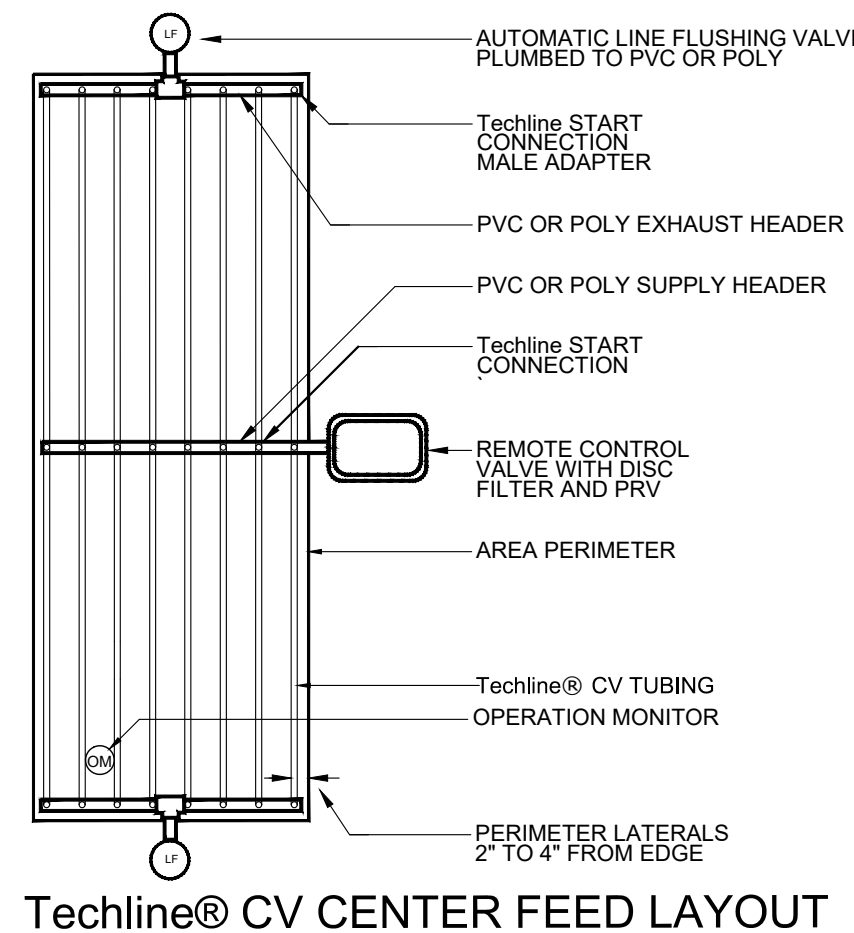
DETAIL - NO SCALE



SLEEVE INSTALLATION

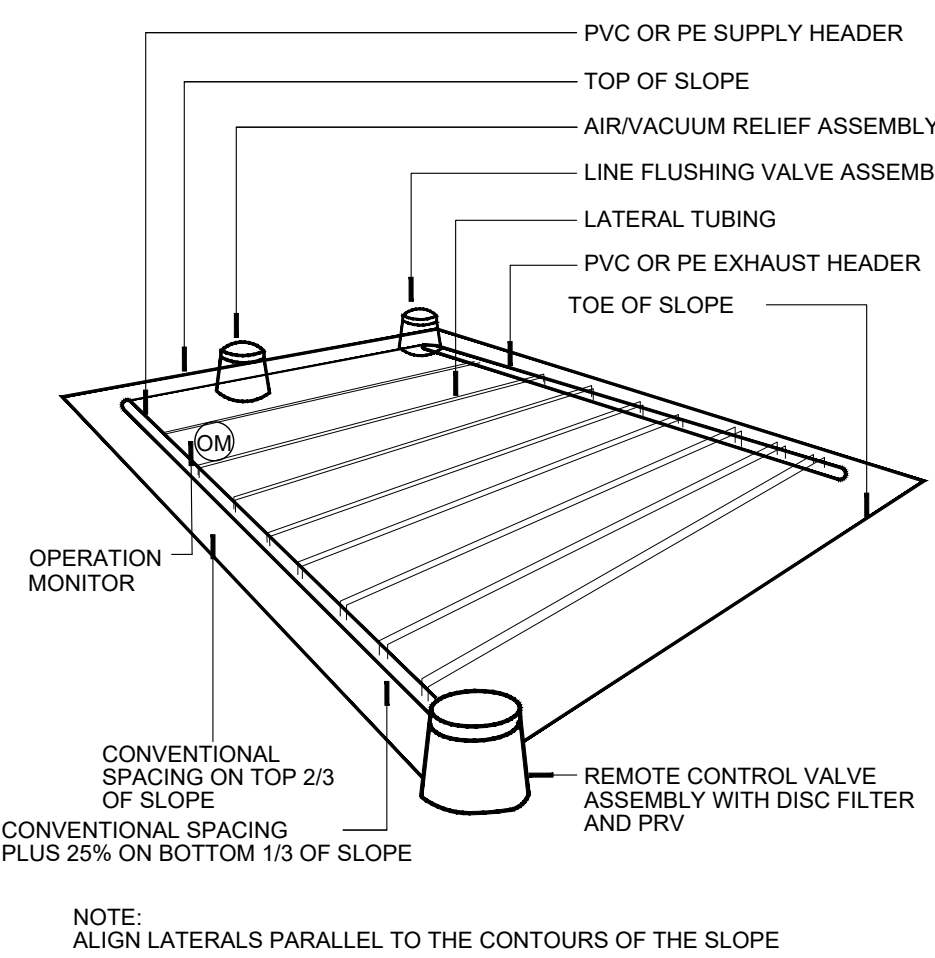
DETAIL - N.T.S.

WHERE LAYOUT FLEXIBILITY EXISTS CENTER FEED LAYOUTS MUST BE USED. THIS ALLOWS FOR EVEN FLOW OF WATER THROUGH THE ZONE.



Techline® CV CENTER FEED LAYOUT

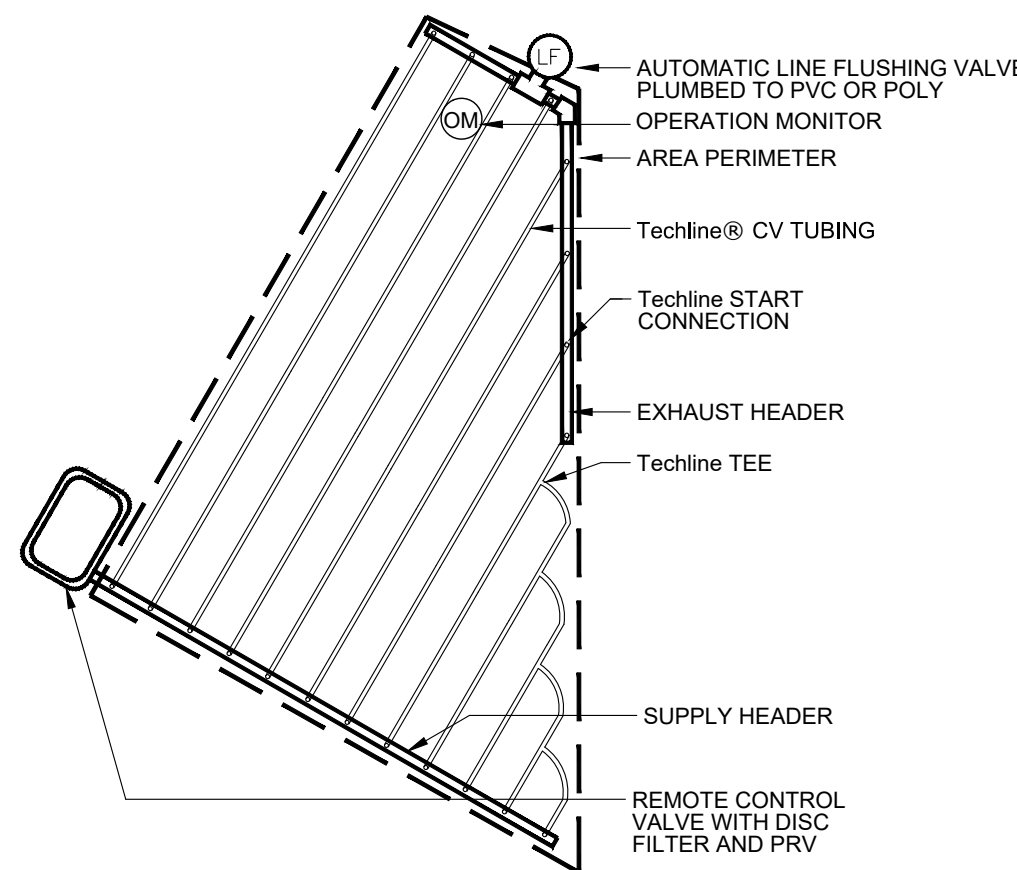
DETAIL - NO SCALE



SLOPE FEED LAYOUT

DETAIL - N.T.S.

ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.



IRREGULAR AREAS: TRIANGULAR

Techline® CV

DETAIL - NO SCALE

**STOP!**  
**CALL BEFORE YOU DIG**  
**DIG TESS**  
**1-800-DIG-TESS**  
(@ least 72 hours prior to digging)

