



Development Review Committee

1020 East Pioneer Road
Draper, Utah 84020

STAFF REPORT

January 14, 2026

To: Jennifer Jastremsky, Zoning Administrator

Approved	Date
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From: Development Review Committee

Prepared By: Maryann Pickering, AICP, Planner III
Planning Division
Community Development Department
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: Walmart EV – Amended Site Plan Request

Application No.: 2025-0175-SP

Applicant: Julie Hekking of Kimley-Horn, representing Walmart Real Estate Business Trust

Project Location: 1360 E. Draper Parkway

Current Zoning: CC (Community Commercial) Zone

Acreage: 6.49 acres (approximately 282,704 sq. ft.)

Request: Request for approval of a Site Plan Amendment to install electric vehicle charging stations in the existing parking lot.

SUMMARY AND BACKGROUND

This application is a request for approval of a Site Plan Amendment for approximately 6.49 acres located on the south side of Draper Parkway, at approximately 1360 E. Draper Parkway (Exhibits B and C). The property is currently zoned CC. The applicant is requesting that a Site Plan Amendment be approved to allow for the installation of electric vehicle charging stations in the existing parking lot.

The proposed site contains an existing Walmart Neighborhood Market. The site was developed with the grocery store in 2003 and has remained in use since that time.



ANALYSIS

General Plan and Zoning.

Table 1 General Plan and Zoning Designations		Exhibit
Existing Land Use	Growth Area (GA)	Exhibit E
Current Zoning	CC	Exhibit F
Adjacent Zoning		
East	CC	
West	CC	
North	CC	
South	Town Center (TC)	

The Growth Area land use designation is characterized as follows:

Growth Area

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> Requires a commitment to exceptional levels of quality and a specific plan of development that meets the City's approval Reduces automobile dependency with added benefits of reducing traffic congestion and improving air quality Emphasis is placed on walking/bicycling to insure its effectiveness in the overall circulation pattern of the site Scale based on the area's character, to encourage secondary forms of circulation Not bisected by arterial streets A well-conceived site, with access to and integration with mass transit facilities Buildings designed per the standards of the City's design guidelines Amenities provided as per the quality design standards. Uniform design elements and themes, but a variety of expression Campus-style development, well landscaped Integration of uses varying within areas and buildings A mix of uses for day and evening activity Aesthetic signage and lighting; limited use of pole signs Limited traffic access points Common off-street traffic circulation and parking Pedestrian access within and between projects
LAND USE MIX	<ul style="list-style-type: none"> Multifamily residential Office Commercial Industrial/manufacturing
COMPATIBLE ZONING	Underlying Zoning
OTHER CRITERIA	<ul style="list-style-type: none"> Multifamily residential density is determined by the quality of the proposed development.

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CC zone is to *“provide areas where commercial uses may be established which are generally oriented toward local residents rather than out of town patrons. Uses typical of this zone include planned retail and office development.”*

Site Plan Layout. The proposed site plan (Exhibit G) shows the addition of eight electrical vehicle charging stations along the northernmost parking aisle in the existing parking lot. The existing parking will be reconfigured to accommodate the electric vehicle charging stations. The charging stations will be installed where there are existing parking stalls. The number of stalls will be reduced from 14 to 10 in this area. However, an additional 7 new parking stalls will be provided on the north side of the building adjacent to the pharmacy drive through. Overall, an additional 3 parking stalls will be provided on the site.

Table 2 **Site Plan Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Lot/Parcel Size	n/a	6.49 (existing)	
Street Frontage	50 ft	475 ft	
Setbacks			
Front	10 ft*	29 ft	*Setback per Chapter 23 (Landscaping)
Rear	30 ft*	116 ft	Setback per Chapter 23 (Landscaping)
West Side	10 ft*	99 ft	Setback per Chapter 23 (Landscaping)
East Side	10 ft*	328 ft	Setback per Chapter 23 (Landscaping)

Landscaping and Lot Coverage. There will be two landscape islands modified as part of the project (Exhibit H). One landscape island will be removed along a modified row of parking; however, the number of stalls is being reduced in this area so the single remaining landscaped island will meet minimum code requirements. Removing the existing island will cause the site to be deficient with the minimum landscape percentage required for the site. However, additional landscaping to make up for the removed landscape island will be provided along the property frontage adjacent to Draper Parkway. The proposed electrical equipment boxes will be screened with landscaping as required by ordinance. The applicant has provided a plan which shows plants that are eight feet tall adjacent to the equipment that is also eight feet tall. A total of nine shrubs will be planted for the screening of the equipment.

Table 3**Landscaping Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Lot Coverage	50%	No change	
Overall Landscaping Coverage	20%	No change	Removed quantities being replaced.
Parking Lot Landscaping	7%	No change	Removed quantities being replaced.
Perimeter Landscaping	10 ft	Existing	
Street Trees	From approved tree list	Existing	

Parking. According to the site plan (Exhibit G), 14 stalls in the proposed EV charging area will be modified to 10 stalls to accommodate the EV charging units. However, there are existing and proposed stalls to the west of the pharmacy drive through. A total of seven new stalls will be added to the existing eight stalls for a total of 15 stalls. Overall, the site will meet the minimum requirements once the project is complete.

Table 4**Parking Lot Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Parking Required (Min/Max)			
Retail	87-107 for all users	168 Existing	Parking is shared with building to east

Criteria For Approval. The criteria for review and potential approval of a Site Plan Amendment request is found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

E. Standards For Approval: The following standards shall apply to the approval of a site plan:

1. The entire site shall be developed at one time unless a phased development plan is approved.
2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.

4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:

1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:
 - a. The proposed use is consistent with uses permitted on the site;
 - b. Existing uses were permitted when the site plan was approved, or have received a conditional use permit;
 - c. The proposed use and site will conform to applicable requirements of this Code;
 - d. The proposed expansion meets the approval standards of subsection E of this section;
 - e. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and
2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.
3. If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.
4. Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from him, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

The findings for approval as are follows:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. Additional findings from criteria for approval listed above.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US,
E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works -
Engineering, CN=Brien Maxfield
Date: 2026.01.15 09:49:38-07'00'

Draper City Public Works Department

Don Buckley

Digitally signed by Don Buckley
DN: C=US, E=don.buckley@draper.ut.us,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2026.01.15 10:09:23-07'00'

Draper City Fire Department

Reid Gerritsen

Digitally signed by Reid Gerritsen
DN: C=US,
E=reid.gerritsen@draperutah.gov,
O=Draper City Building, CN=Reid Gerritsen
Reason: I attest to the accuracy and integrity
of this document
Contact Info: 801.576.6534
Date: 2026.01.15 09:25:22-07'00'

Draper City Building Division

Todd Draper

Digitally signed by Todd Draper
DN: C=US,
E=todd.draper@draperutah.gov,
O=Draper City Community
Development Department,
OU=Planning and Zoning,
CN=Todd Draper
Date: 2026.01.15 09:48:07'00'

Draper City Planning Division



Draper City Legal Counsel

EXHIBIT A
DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Building Division Review.

1. No additional comments.

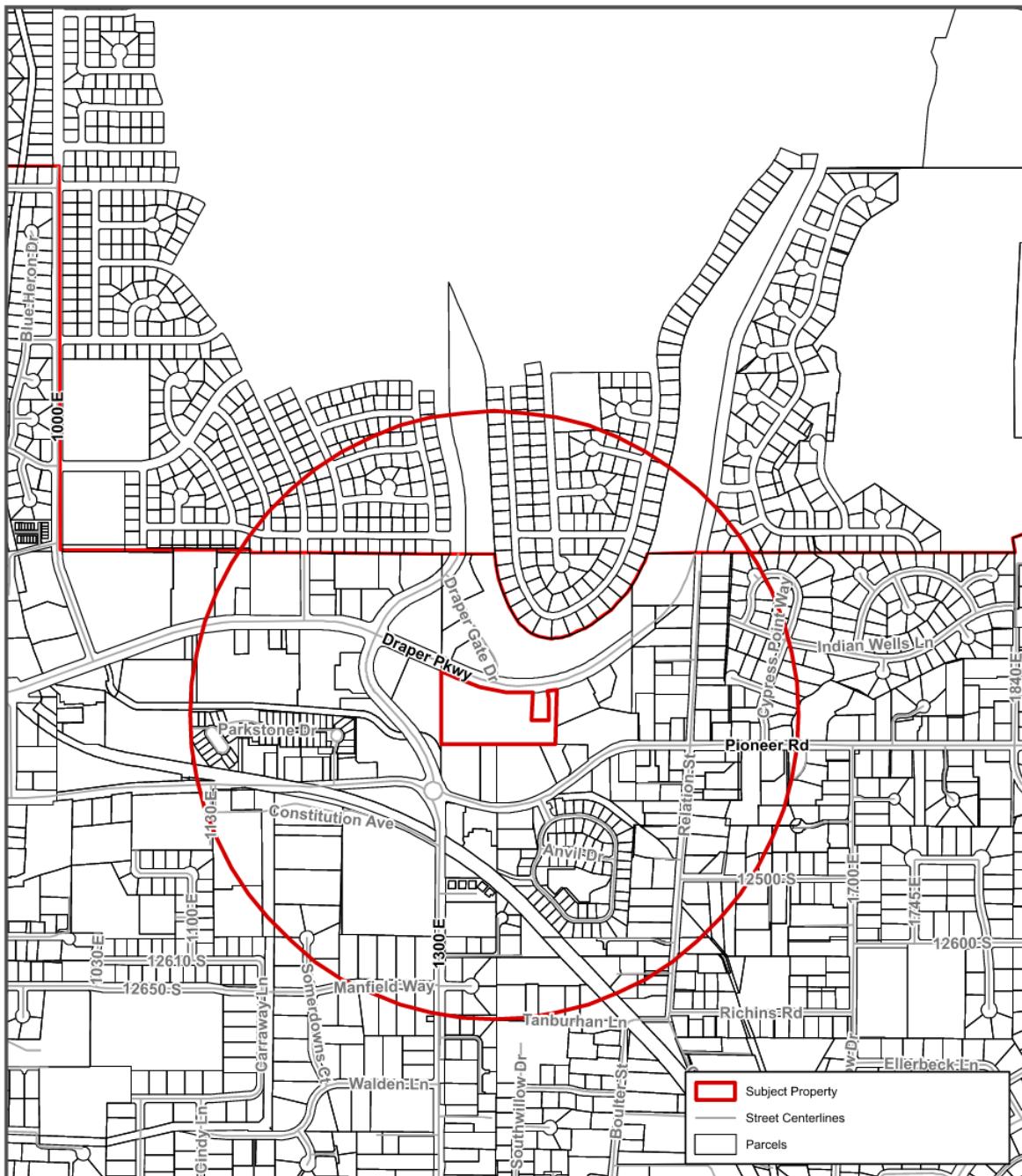
Engineering and Public Works Divisions Review.

1. No additional comments.

Fire Division Review.

1. No additional comments.

EXHIBIT B
VICINITY MAP



Walmart EV Charging Stations Site Plan

1060 E. Draper Parkway

Date Printed: 12/9/2025

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EXHIBIT C
AERIAL MAP

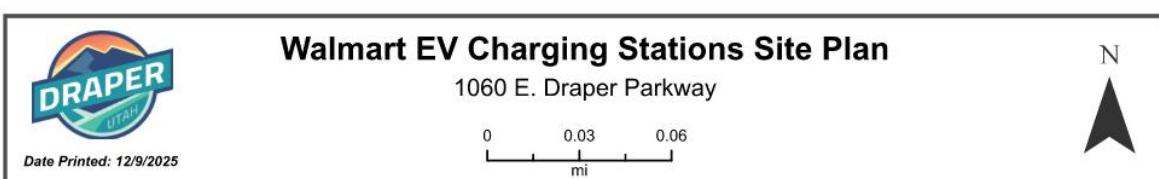


EXHIBIT D
LAND USE MAP

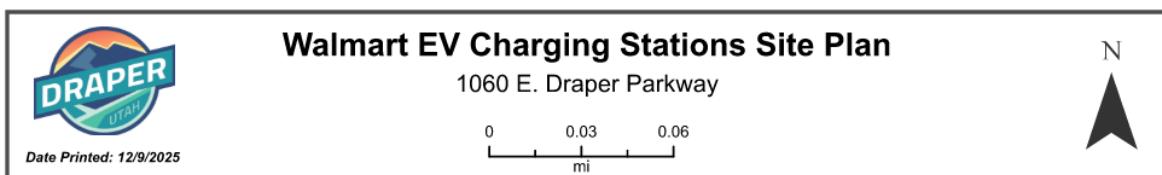
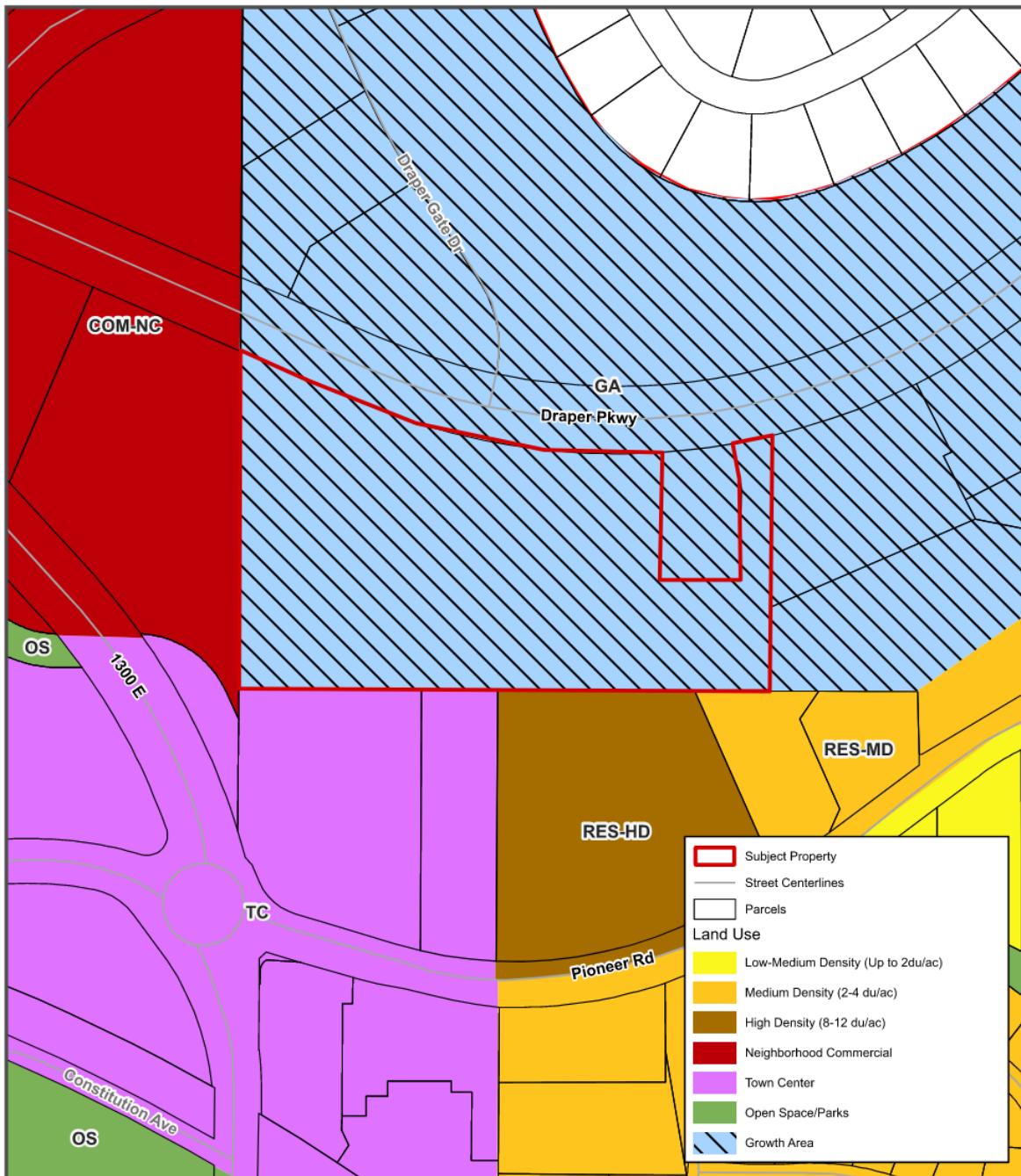


EXHIBIT E
ZONING MAP

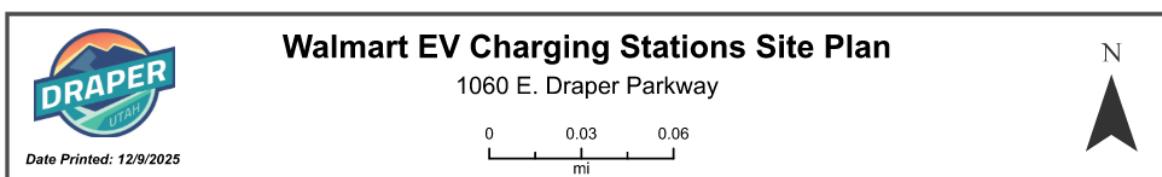
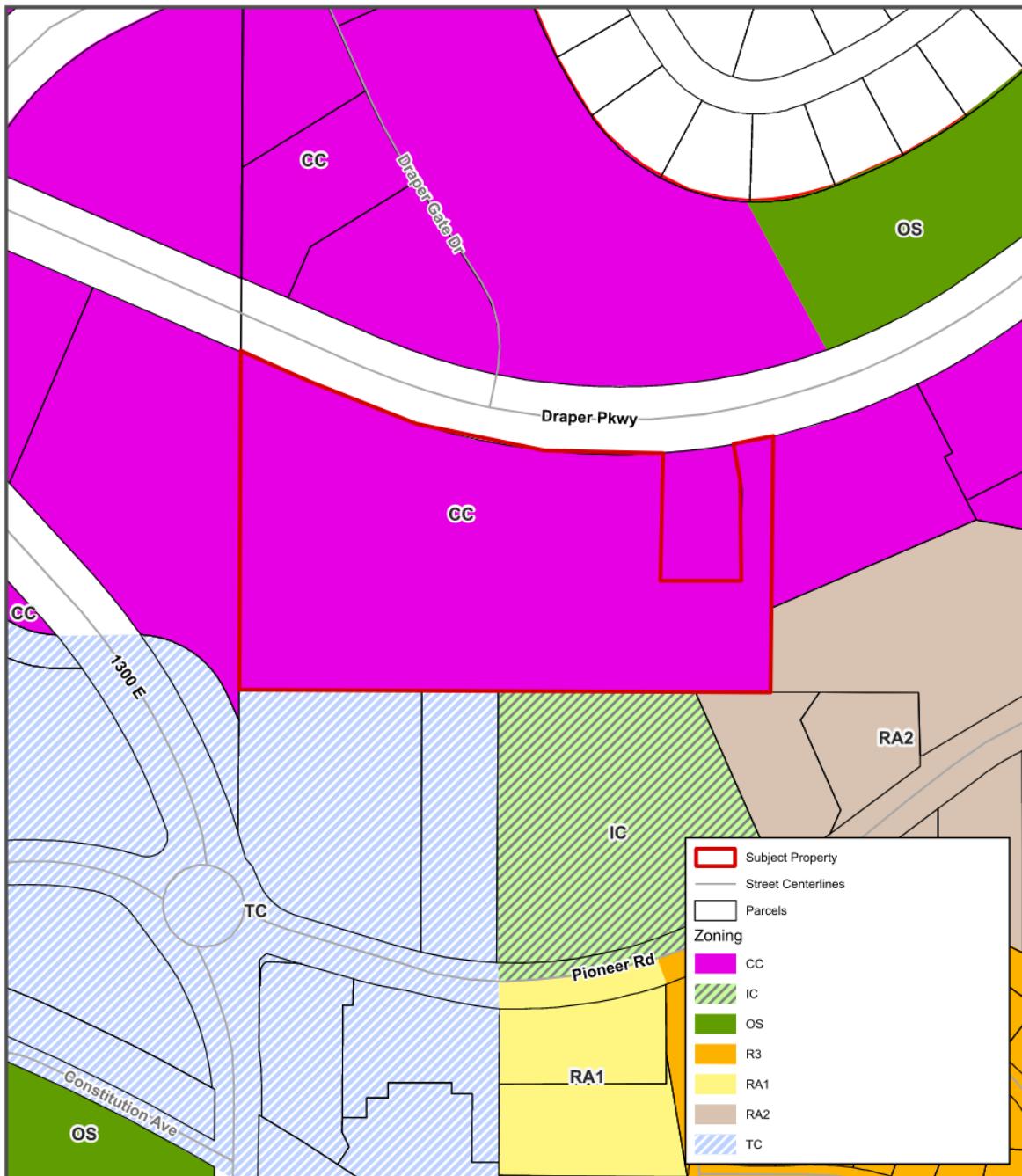


EXHIBIT F
SITE PLAN

SITE ANALYSIS TABLE (EXISTING STORE)		
	EXISTING	PROPOSED
TOTAL BUILDING AREA	39,910 S.F.	39,910 S.F.
REQUIRED PARKING (PER CITY OF DRAPER)	160 SPACES	160 SPACES
REQUIRED PARKING RATIO (PER CITY OF DRAPER)	4,000 S.F./1,000 S.F.	4,000 S.F./1,000 S.F.
REQUIRED PARKING (PER CCR/CCAB)	187 SPACES	187 SPACES
REQUIRED PARKING RATIO (PER CCR/CCAB)	4,700 S.F./1,000 S.F.	4,700 S.F./1,000 S.F.
CUSTOMER AND ASSOCIATE PARKING		
EV PARKING	8 SPACES	8 SPACES
PICKUP PARKING	0 SPACES	10 SPACES
PARKING SPACES OCCUPIED BY CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	9 SPACES	9 SPACES
PROPOSED TOTAL PARKING EXCLUDING PICKUP STALLS	176 SPACES	177 SPACES
PROPOSED PARKING RATIO EXCLUDING PICKUP STALLS	4,410 S.F./1,000 S.F.	4,430 S.F./1,000 S.F.
PROPOSED TOTAL PARKING INCLUDING PICKUP STALLS	186 SPACES	187 SPACES
PROPOSED PARKING RATIO INCLUDING PICKUP STALLS	4,600 S.F./1,000 S.F.	4,700 S.F./1,000 S.F.

PARKING NOTES
1. EXISTING WAL-MART BUILDING SF CONFIRMED VIA THE STORE EXPANSION LIST DOCUMENT THAT HAS BEEN PROVIDED BY EV PMD
2. NO PARKING ON ROADS
3. PARKING AND STORAGE OF VEHICLES, EQUIPMENT, OR STAGING AREAS OUTSIDE OF THE FENCED AREA IS NOT ALLOWED.
4. DRAPER CITY PARKING RATIOS REFERENCE CITY OF DRAPER OFF-STREET PARKING 9-19-090.
5. EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS AND SITE WALK COMPLETED BY KIMLEY-HORN ON 5/26/2025.

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT DRAPER, UT 84020 CONTEMPORANEOUS WITH ITS ISSUE DATE ON 06/20/2025 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.



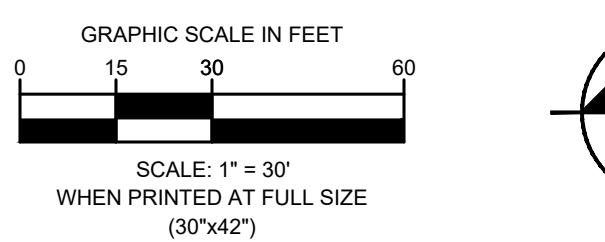
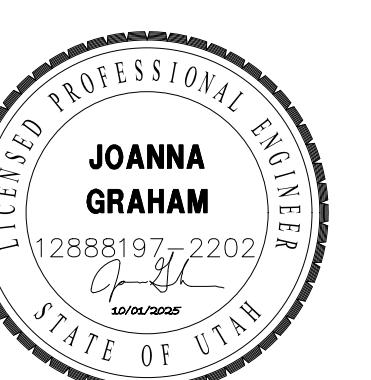
1580 DRAPER PKWY - EV
DRAPER, UT 84020

STORE NO.: WALMART NEIGHBORHOOD MARKET #5110 1004

PUBLIC EV

DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF AOR / EOR ARE NOT FOR CONSTRUCTION

CONSULTANTS



GRAPHIC SCALE IN FEET
0 15 30 60
SCALE: 1" = 30'
WHEN PRINTED AT FULL SIZE
(30" x 20")
NORTH
SHEET NUMBER
C2.0



CIVIL SITE PLAN LEGEND	
ITEM	DESCRIPTION
—	PROPERTY LINE
- - -	SETBACK / EASEMENT LINE
—	PAVEMENT SAWCUT LINE
—	CONCRETE EQUIPMENT PAD
—	SIDEWALK CONCRETE PAVEMENT
—	PARKING CONCRETE PAVEMENT
—	TRUNCATED DOMES
—	RESTORE CONCRETE CURBING
—	REGRADE & RESTORE ASPHALT PAVEMENT
—	SEAL COAT ASPHALT PAVEMENT
—	PARKING STRIPING / ACCESS AISLE
—	TRAFFIC ARROW PAVEMENT MARKING
—	SIGN POST
•	Ø4" EMBEDDED BOLLARD
•	Ø6" UTILITY BOLLARD
—	REGRADE AND RESTORE LANDSCAPE AREA
—	RELOCATED TREE

SETBACK NOTE
CONTRACTOR TO VERIFY THAT LOCATIONS OF ALL PROPOSED ELECTRICAL EQUIPMENT ARE IN COMPLIANCE WITH ALL LOCAL CODES, SETBACKS, AND BUFFERS.

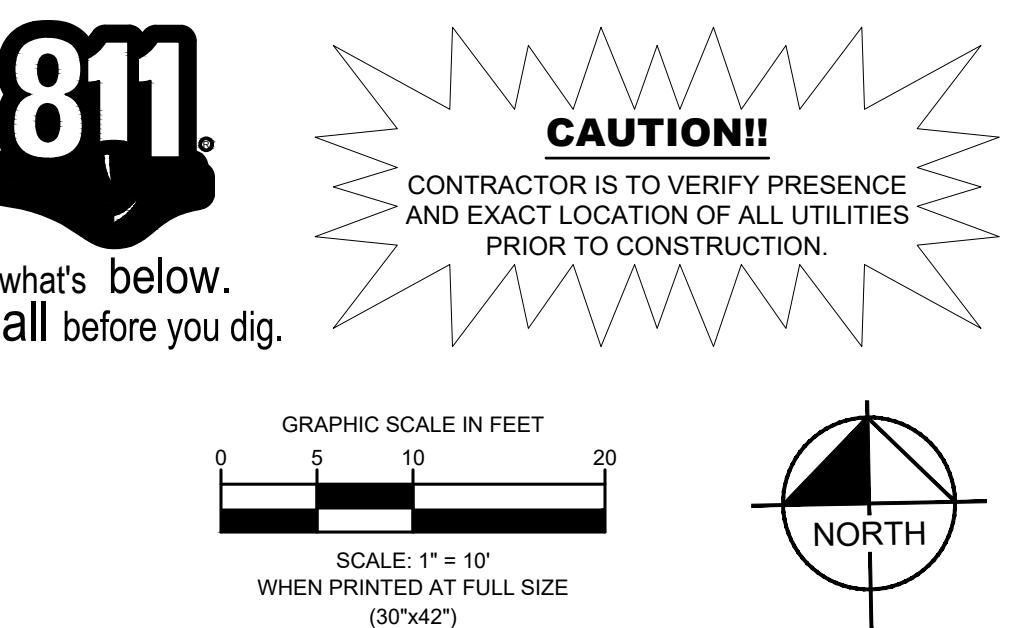
EXISTING UTILITY NOTE
THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED UPON AVAILABLE RECORDS AND EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED INFRASTRUCTURE TO THE ENGINEER PRIOR TO INSTALLATION OF ANY PIPE.

CONSTRUCTION NOTES
1. SEE PAVING AND ADDITIONAL CONSTRUCTION NOTES ON SHEET G1.0
2. CONTRACTOR TO BORE AND / OR HAND TRENCH CONDUIT AS REQUIRED PER NEC
3. ALL EQUIPMENT SHALL BE INSTALLED PER CLIENT DESIGN STANDARDS.
4. CONTRACTOR TO RETURN ALL AREAS OF DISTURBANCE BACK TO EXISTING GRADE AND REGRADE AND RESTORE LANDSCAPE AREA.
5. ALL DIMENSIONS ARE TO THE FACE OF CURB NOTED OTHERWISE.
6. ANY WORK OUTSIDE OF THE CONSTRUCTION FENCE NEEDS TO BE COORDINATED WITH THE STORE MANAGER AND MUST ALLOW ACCESS FOR WALMART TRUCKS AND VENDOR DELIVERY VEHICLES.

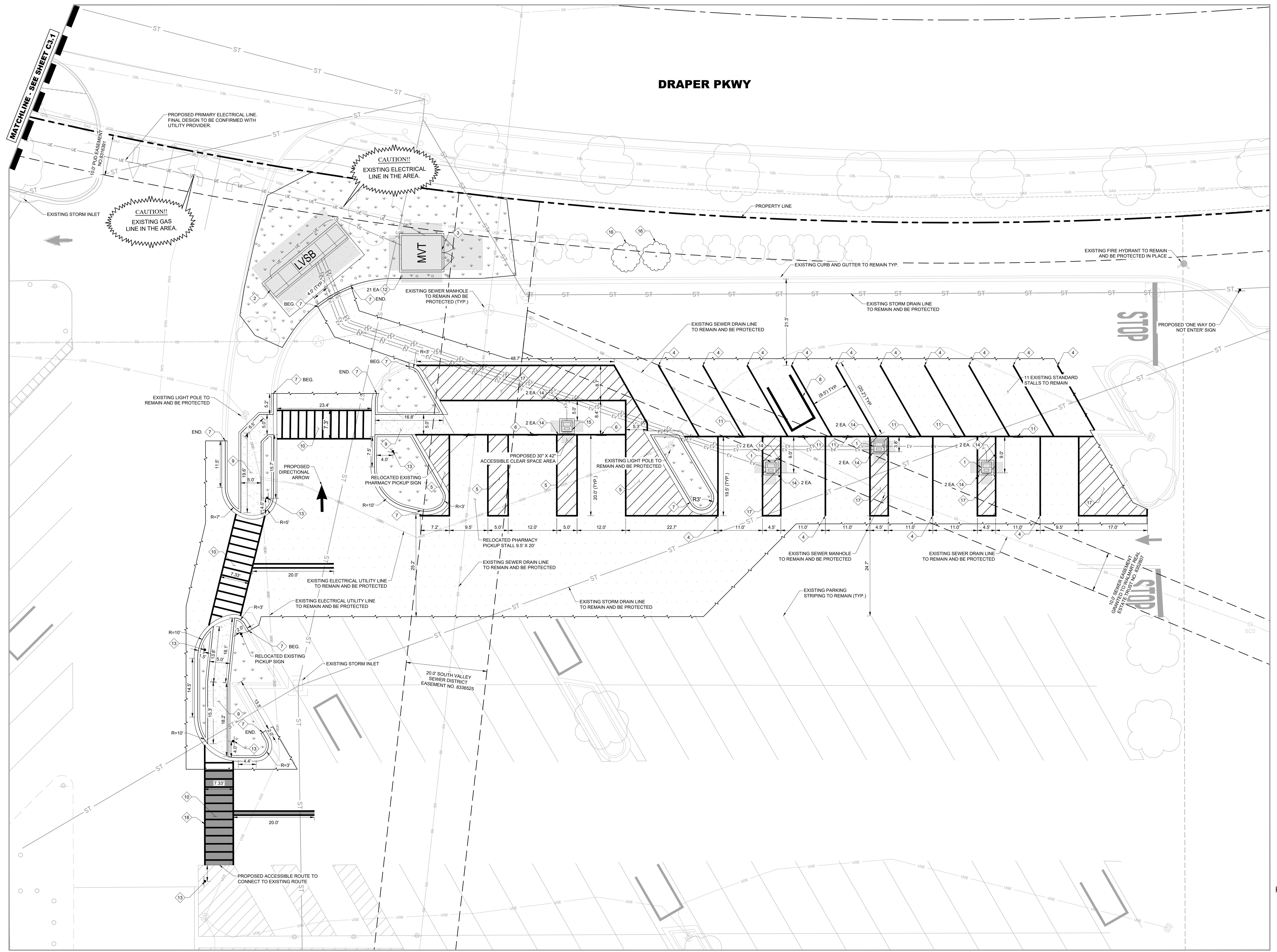
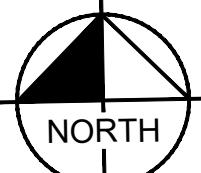
PAVEMENT MARKING NOTES
1. CONTRACTOR SHALL TAKE FIELD MEASUREMENTS OR OTHERWISE ESTABLISH A SURVEY OF THE EXISTING STRIPPING IN ALL WORK AREAS IN ORDER TO ESTABLISH ALL EXISTING STRIPPING MARKINGS WITH FULL COORDINATION OF NEW MARKINGS PLACED ON THIS PLAN.
2. UNLESS OTHERWISE INDICATED ON THIS PLAN, THE CONTRACTOR SHALL ESTABLISH PAVEMENT MARKINGS FOR THE FOLLOWING: DIRECTIONAL ARROWS, STOP SIGNS, CURB SIDEWALK, LIGHT POLE BASES, SIGN BASES AND OTHER FEATURES TO MATCH THE EXISTING SITE WITHIN THE REPAIR LIMITS.
3. CONTRACTOR TO USE APPROPRIATE PAINT COLORS TO MATCH THE EXISTING BY THE PAINT MANUFACTURER. PAINT COLORS SHALL CLOSELY MATCH THE FEDERAL STANDARD COLOR CHART. PAINT COLOR CODES ARE AS FOLLOWS: WHITE #37925 AND YELLOW-COLOR 33538.
4. IN AREAS NOT BEING RESURFACED, BUT REQUIRING RESTRIPPING, CONTRACTOR SHALL PREPARE THE SURFACE AS IF IT IS A NEW SURFACE. PREPARATION INCLUDES SODA BLASTING IN SUCH A MANNER THAT THE FINISHED PAVEMENT SURFACE IS NOT DAMAGED OR LEFT IN A PATTERN THAT IS MISLEADING OR CONFUSING. USE A WATER MIST SPRAY SYSTEM TO PREVENT DUST DURING THE PREPARATION PROCESS. PREPARATION AND STRIPPING PREPARATION INCLUDES SODA BLASTING OF EXISTING PAVEMENT MARKINGS IN PLACES WHERE STRIPPING REMOVES THE SURFACE TEXTURE OF THESE MARKINGS. CONTRACTOR TO REMOVE EXISTING PAVEMENT MARKINGS AND STRIPE. CONTRACTOR TO SUBMIT STRIPPING REMOVAL METHOD TO CONSTRUCTION MANAGER AND ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.


CIVIL KEYNOTES
1 PROPOSED ABB TERRA 400UL DC/DC CHARGER(S), REFER TO SHEET G2.0 FOR MORE INFORMATION. EQUIPMENT FOUNDATION PER DETAIL 3, SHEET C7.0.
2 PROPOSED "MSB-EV" SWITCHBOARD, EQUIPMENT FOUNDATION PER DETAIL 2, SHEET C7.0. SWITCHBOARD OPENINGS FOR DETAIL 6, SHEET C7.0. REFER TO SHEET E1.0 FOR MORE INFORMATION.
3 PROPOSED UTILITY TRANSFORMER AND PAD, PER DETAIL 2, SHEET C7.0.
4 PROPOSED PARKING STALL PAVEMENT STRIPPING, INSTALL 4" WIDE YELLOW STRIPPING ON THE EXISTING SURFACE OF 7.5 MILS AND A DRY FILM THICKNESS OF 7.5 MILS PER COAT, UNLESS OTHERWISE NOTED.
5 ACCESSIBLE EV CHARGING AND USE LAST ADA SIGN PER DETAIL 4, SHEET C7.1.
6 INSTALL "EV CHARGING" AND "USE LAST ADA" SIGN PER DETAIL 3, SHEET C7.1. SIGN MOUNTING AND BASE WITH BOLLARD PER DETAIL 1, SHEET C7.1.
7 INSTALL 6" CURB & GUTTER PER DETAIL 9, SHEET C7.1. HEIGHT PER SHEET C4.0.
8 PROPOSED RELOCATED CART CORRAL LOCATION
9 CONSTRUCT CONCRETE SIDEWALK PER DETAIL 6, SHEET C7.1. JOINTING PER DETAIL 7, SHEET C7.1.
10 INSTALL 7.33" WIDE CROSSWALK PER DETAIL 4, SHEET C7.1.
11 INSTALL EV CHARGING SIGN PER DETAIL 3, SHEET C7.1. SIGN MOUNTING AND BASE WITH BOLLARD PER DETAIL 1, SHEET C7.1.
12 PROPOSED UTILITY BOLLARD PER UTILITY DETAIL 11, SHEET C7.1. CONTRACTOR SHALL CONFIRM BOLLARD TYPE (PERMANENT OR REMOVABLE) WITH UTILITY REPRESENTATIVE PRIOR TO INSTALLATION.
13 INSTALL Ø4" FIXED PIPE BOLLARD PER DETAIL 8, SHEET C7.0.
14 PROPOSED ABB TERRA 400UL ACCESSIBLE CHARGER(S), REFER TO SHEET G2.0 FOR MORE INFORMATION. EQUIPMENT FOUNDATION PER DETAIL 3, SHEET C7.0.
15 RELOCATED TREE / SHRUB
16 PROPOSED ACCESSIBLE AISLE PAVEMENT STRIPPING, REFER TO DETAIL 4 SHEET C7.1.
17 LIMITS OF SEAL COAT, APPLY SEAL COAT OVER WHERE STRIPPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPPING AND PAVEMENT MARKINGS OVER SEAL COAT.

ISSUE BLOCK	DATE	BY
No. 1	2	JZ
DESIGNED BY:	IA	
DRAWN BY:	JG	
CHECKED BY:	TBD	
PROT/CYCLE:		
DOCUMENT DATE:	10/01/2025	
SHEET TITLE:		
SITE PLAN		
SHEET NUMBER:	C3.0	



GRAPHIC SCALE IN FEET
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SCALE: 1" = 10' WHEN PRINTED AT FULL SIZE (30'x20')





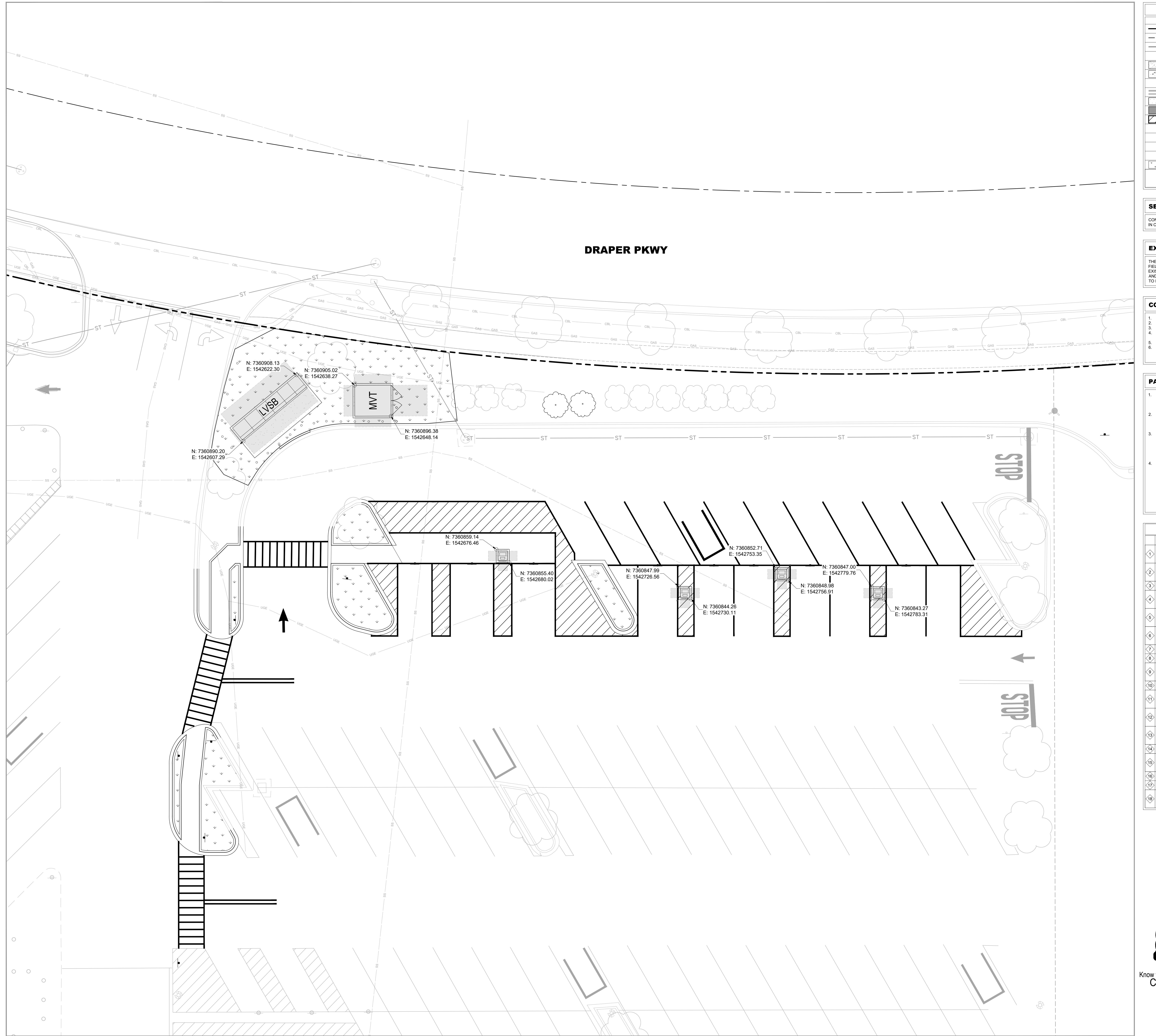


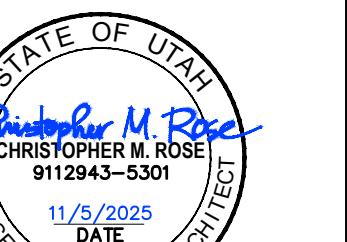
EXHIBIT G
LANDSCAPE PLAN



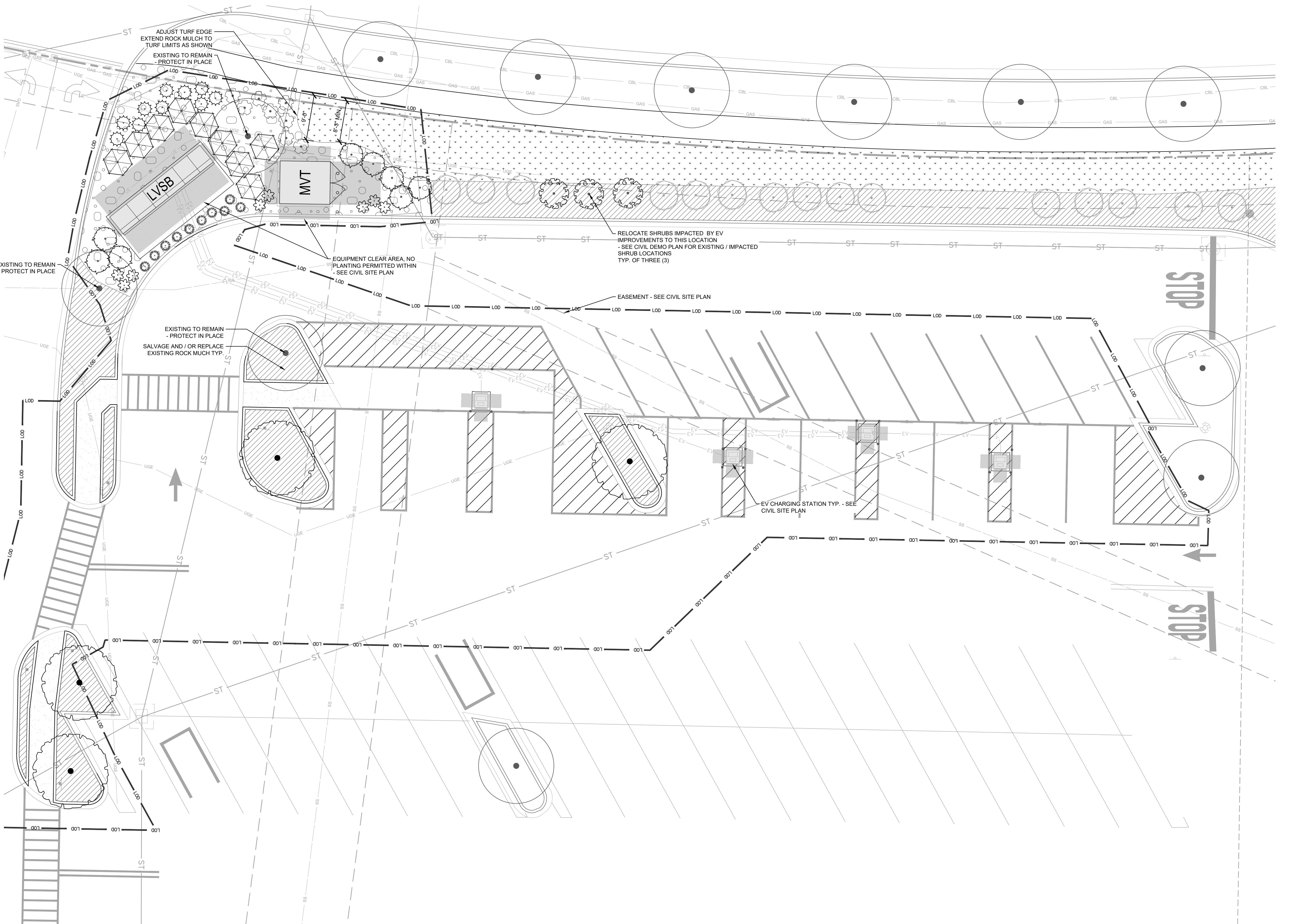
1360 DRAPEP PKWY - EV
DRAPEP, UT 84020
STORE NO.: WALMART NEIGHBORHOOD MARKET #61101004

PUBLIC EV
DOCUMENTS WITHOUT SIGNATURE
AND REQUIRED SEAL OF AOR / EOR
ARE NOT FOR CONSTRUCTION

CONSULTANTS



11/5/2025
DATE



LANDSCAPE REQUIREMENTS

9-23-080 PARK STRIP LANDSCAPING
A3. 1 tree per 40LF

REQUIRED
Required
PROVIDED
Provided*

*Area impacted by EV improvements doesn't affect existing park strip landscaping

9-23-100 PARKING LOT LANDSCAPING
A2. Provide landscape area for 7% of parking area

REQUIRED
Required
PROVIDED
Provided*

B2. 1 tree per island
Required
4 trees**

*Area impacted by EV improvements doesn't affect existing parking lot landscape quantities
*Parking island trees are replaced in areas impacted by EV improvements

9-23-120 LANDSCAPE SCREENING
C4. Min. 4 evergreen shrubs per equipment box

REQUIRED
8 Shrubs
PROVIDED
> 8 Shrubs

PERMANENT GRASS CHART

SYMBOL	ACREAGE	VARIETY	SEEDING RATE
N/A	N/A	N/A	N/A

NOTE: NO ADDED TURF INCLUDED IN EV IMPROVEMENTS, ALL TURF AREA SHOWN IS EXISTING TO REMAIN

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CALIPER	QTY
TREES			
•	Existing Tree to Remain Protect in Place		
○	Gleditsia triacanthos inermis 'Shademaster' Shademaster Honey Locust	2" Cal.	4
SHRUBS			
○	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	3 gal.	10
○	Euonymus japonicus 'Grandifolius' Globe Japanese Euonymus	5 gal.	9
○	Existing to Relocate Species Vary Relocate to locations shown		3
○	Existing To Remain Species Vary		
○	Miscanthus sinensis 'Morning Light' Morning Light Eulalia Grass	3 gal.	10
○	Pennisetum alopecuroides 'Henne' 'Henne' Fountain Grass	3 gal.	8
○	Spiraea japonica 'Goldflame' Goldflame Japanese Spirea	3 gal.	8
○	Taxus x media 'Densiformis Gm' Gem Dense Anglo-Japanese Yew 18" Height Min. at time of planting	5 gal.	8
GROUND COVERS			
▪	Existing Turf to Remain	--	2,075 sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
▨	Existing Landscape area. Repair / Replace any removed, damaged, or impacted landscape materials in like and kind to match existing, including grass, shrubs, groundcover, and mulch	
▨	Rock Mulch to Match Existing, 4" Depth	1,305 sf

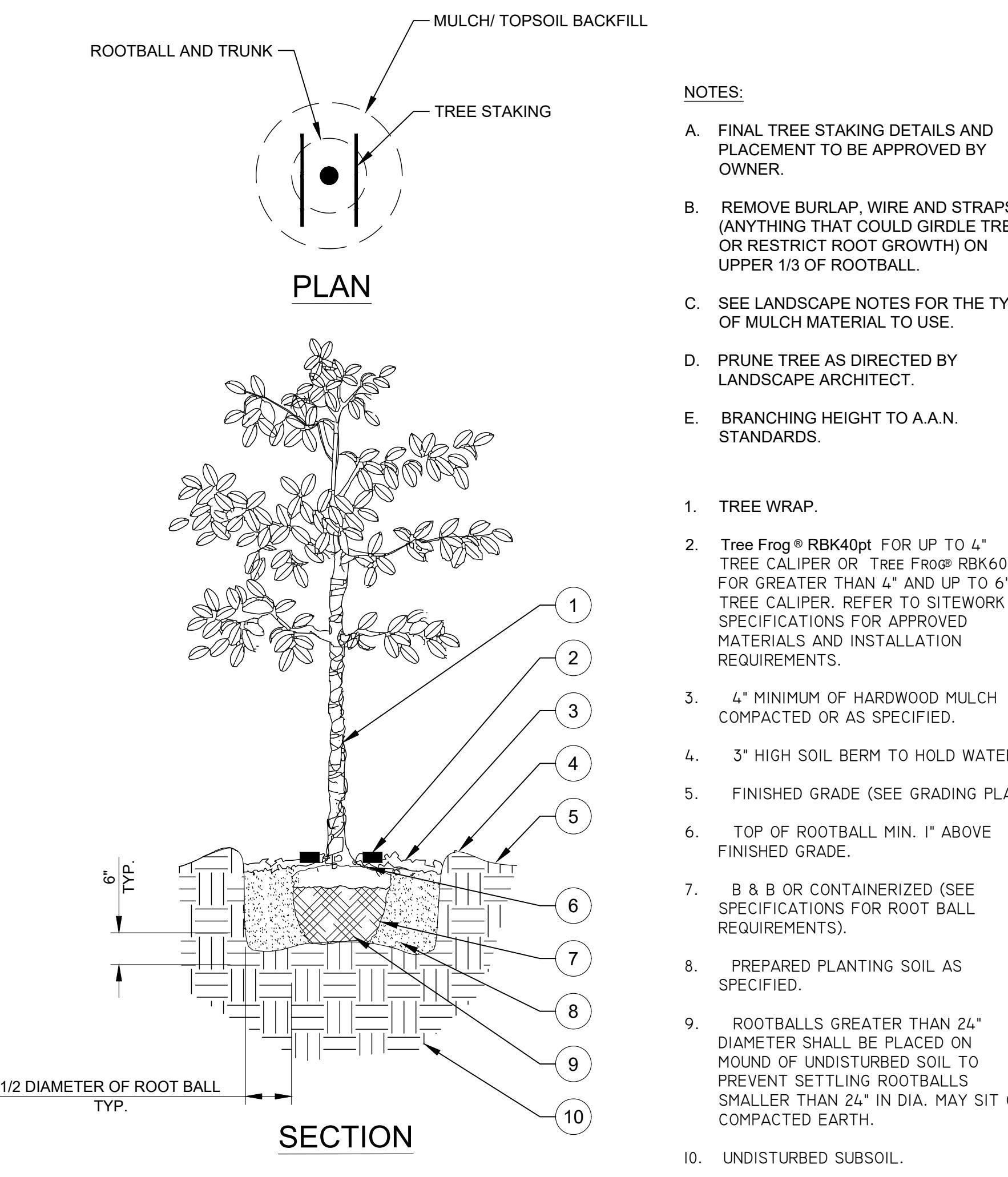
NOTE: EXISTING TURFGRASS AREAS TO BE REMOVED AND REPLACED WITH ROCK MULCH SHALL BE COMPLETELY DEMOLISHED AND REMOVED TO FULL DEPTH OF GRASS ROOTS PRIOR TO REPLACEMENT OF TOPSOIL AND ROCK MULCH

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.
NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.
NOTE: ALL PROPOSED LANDSCAPE PLANTING AREAS TO BE EXCAVATED TO A MINIMUM DEPTH OF 4" AS NECESSARY TO CONTAIN APPROPRIATE PLANTING AS SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES, IRRIGATION LINES, WIRING, STRUCTURES, LANDSCAPE, ETC. WHICH ARE SCHEDULED TO BE RETAINED/REUSED.
NOTE: CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOORS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

LANDSCAPE NOTES:

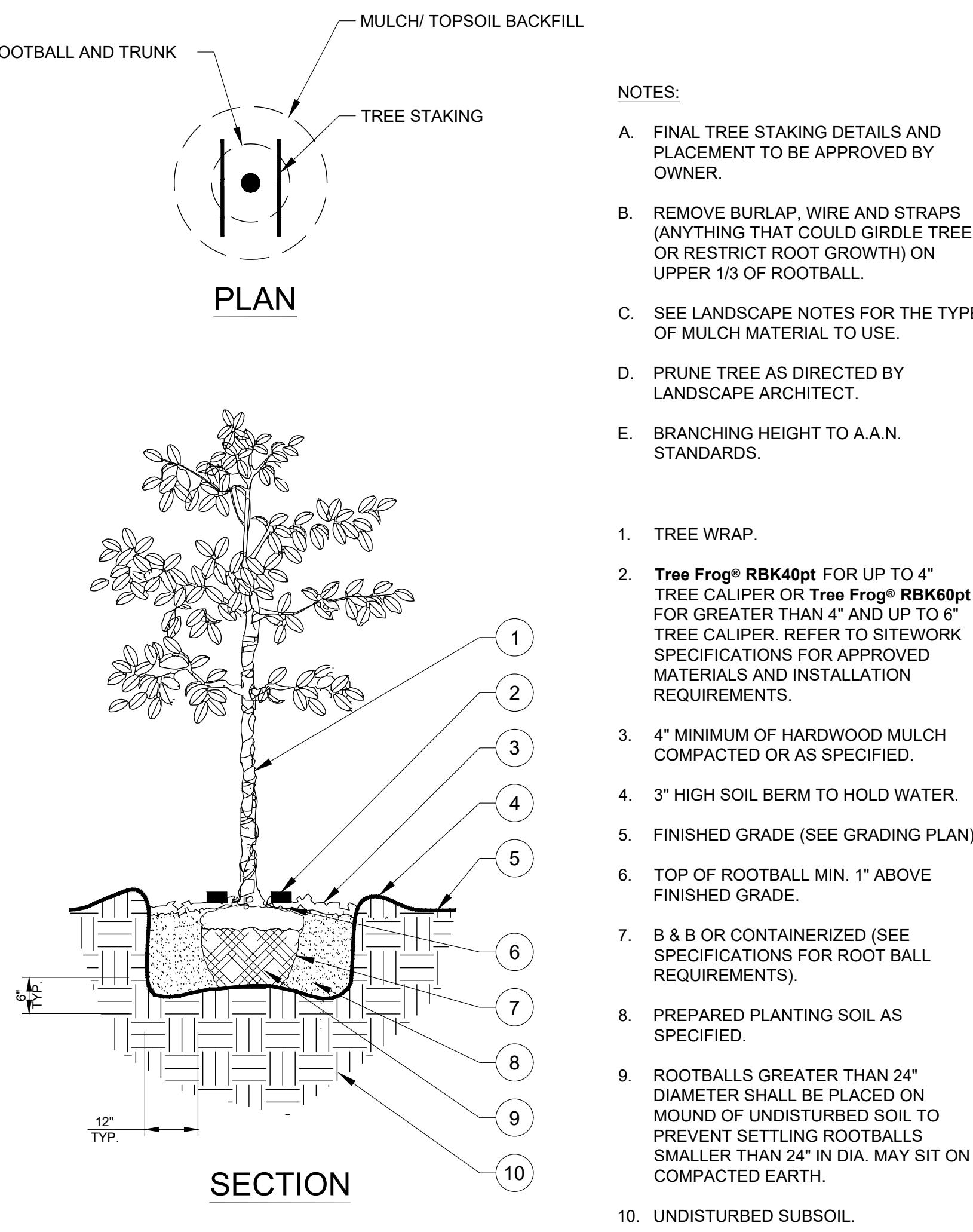
1. ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. SEE 2900
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
4. ALL PLANTS SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
6. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
7. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE BEST LOCATION FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON INFORMATION PROVIDED BY THE CITY OF DRAPER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD AND 3) TO RELOCATE OR REPAIR DAMAGE TO UTILITY STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE SPECIFICATIONS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS FROM THE DATE OF DELIVERY.
12. PLANT MATERIAL PROVIDED BY THE CONTRACTOR SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
13. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD DEFINED IN THE 02900 SPEC. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE 02900 PERIOD.
14. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
15. SPECIFICATIONS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
16. PLANT MATERIAL ON THE PLATE AND PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD OR BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF FOUR INCHES.
17. PROVIDED BY WALMART SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PROCEDURES.
18. WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
19. ALL PLANT MATERIAL SHALL BE PLANTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN. THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFICIENCY OF THE SWPP PLAN FOR PLANTING.
20. THE CONTRACTOR IS REQUIRED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
21. THE PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPP PLAN.
22. ALL INVASIVE / EXOTIC SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES.
23. EXISTING TREES TO BE CORRECTLY PRUNED BY A CERTIFIED ARBORIST WITH THE DIRECTION OF THE LANDSCAPE ARCHITECT.

ISSUE BLOCK	DATE	BY
No. 0	2	3
DESIGNED BY:	TSL	
DRAWN BY:	TSL	
CHECKED BY:	CWR	
PROTO CYCLE:	TBD	
DOCUMENT DATE:	10/13/2025	
SHEET TITLE		
LANDSCAPE PLAN		
SHEET NUMBER		
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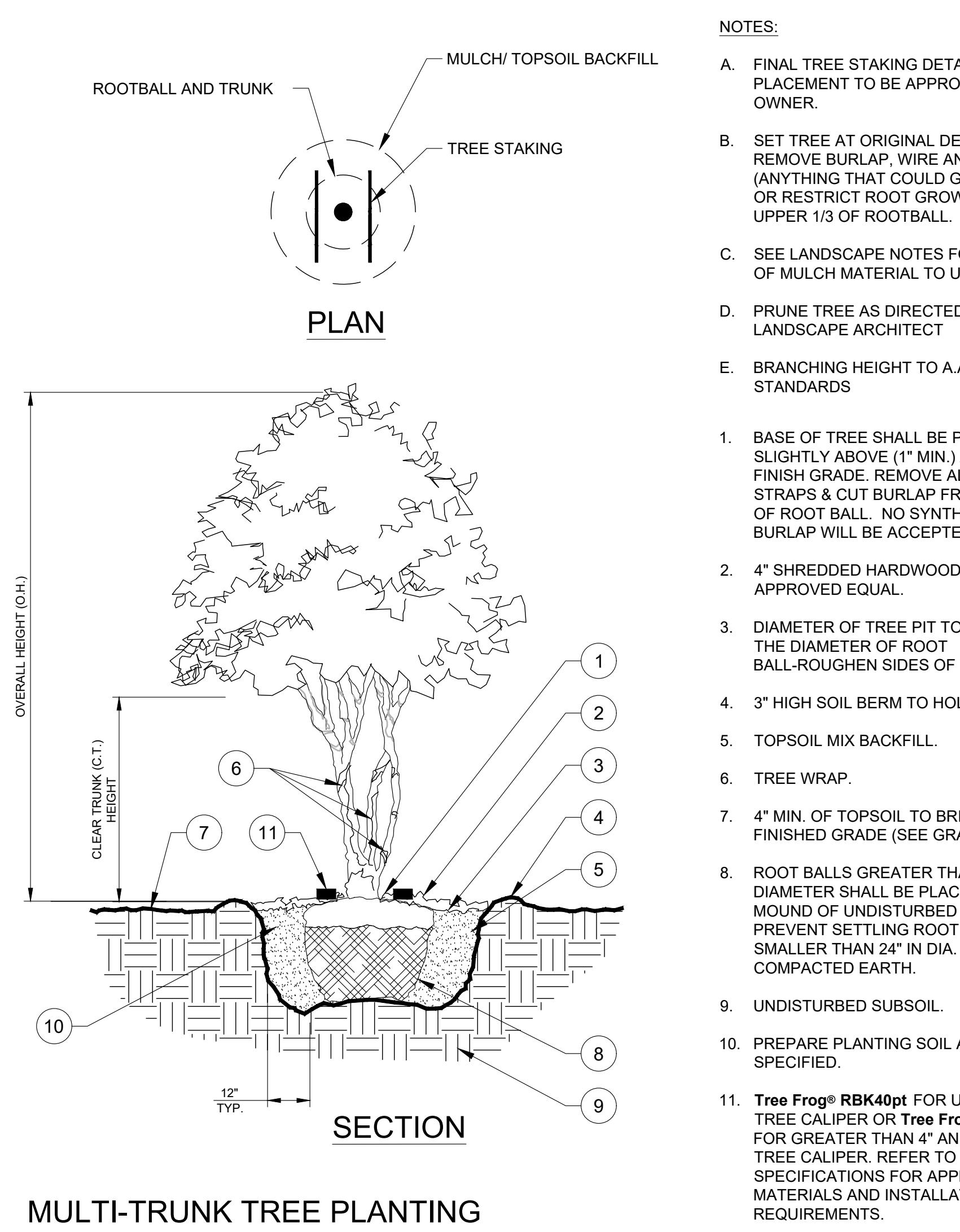
LARGE TREE PLANTING (14' OR GREATER)

NTS

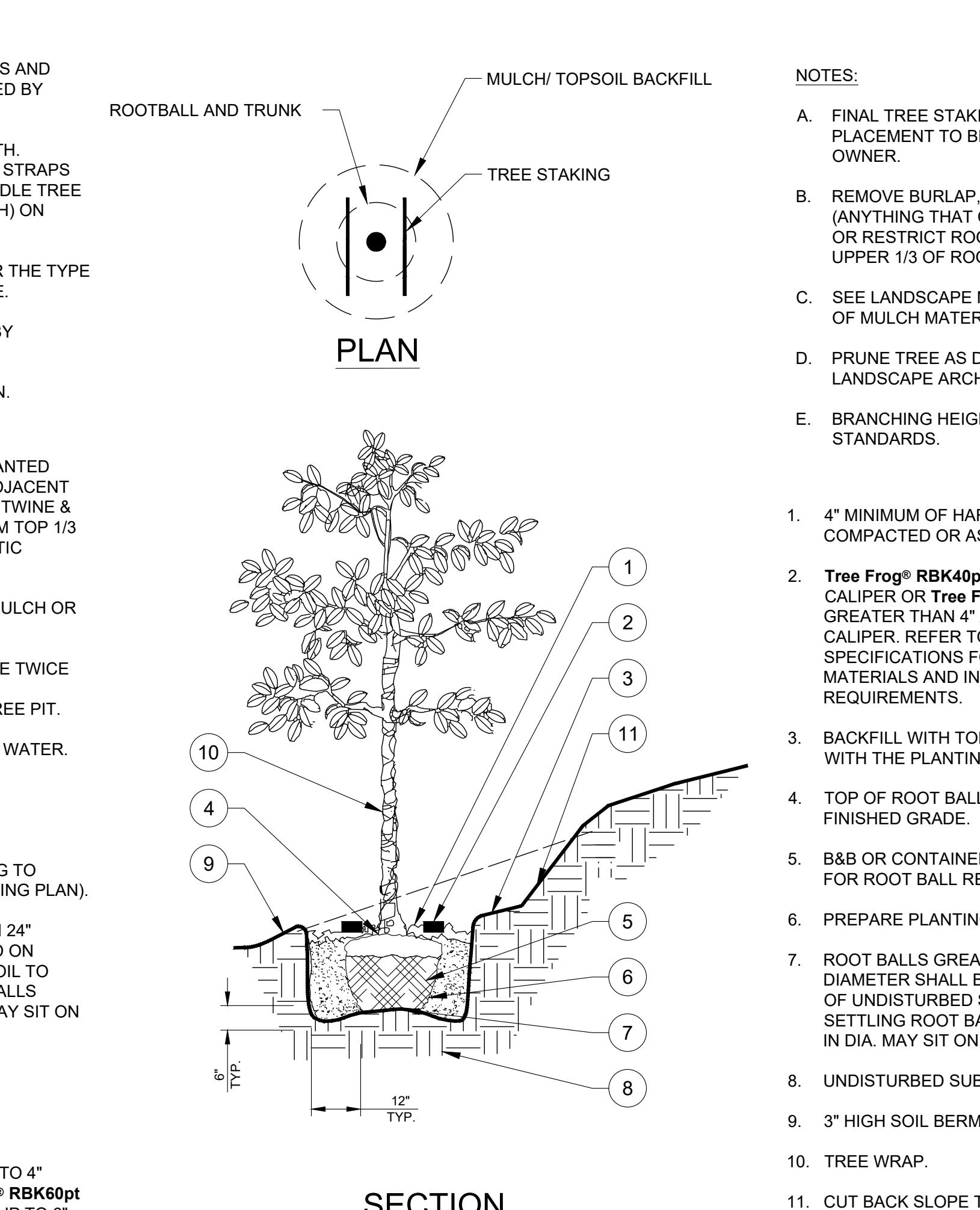


SMALL TREE PLANTING (14' OR LESS)

NTS

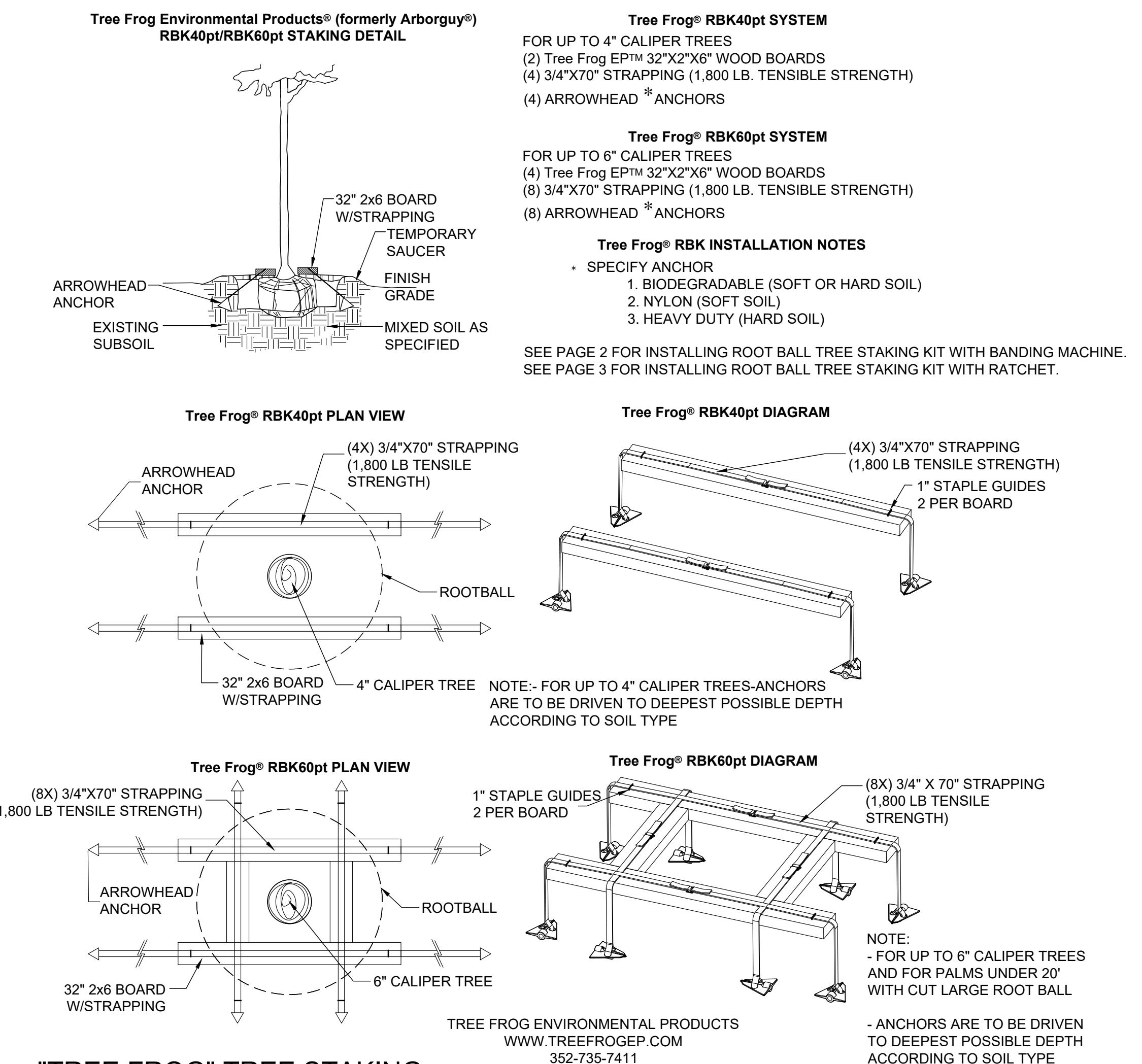


MULTI-TRUNK TREE PLANTING



TREE PLANTING ON SLOPE

NTS

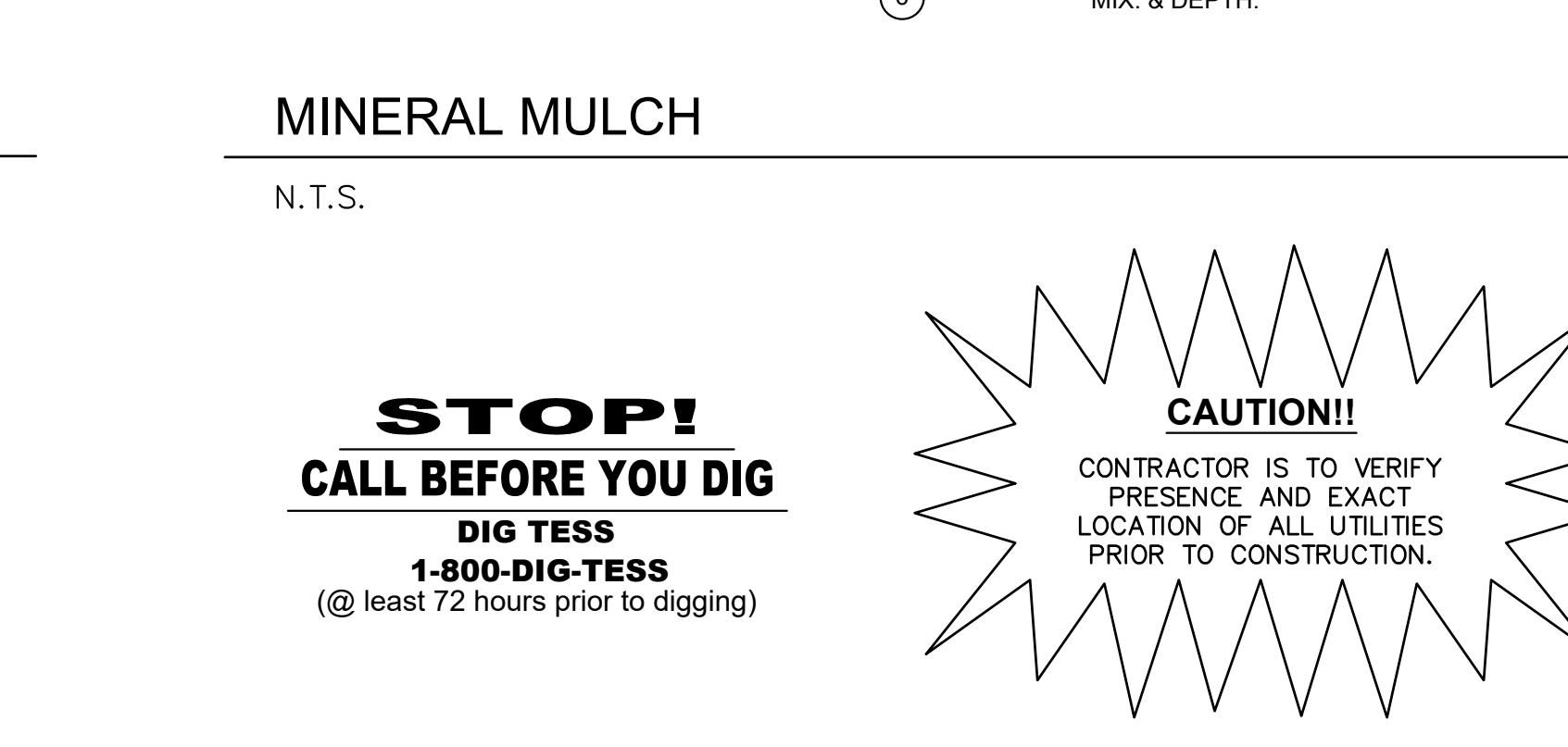
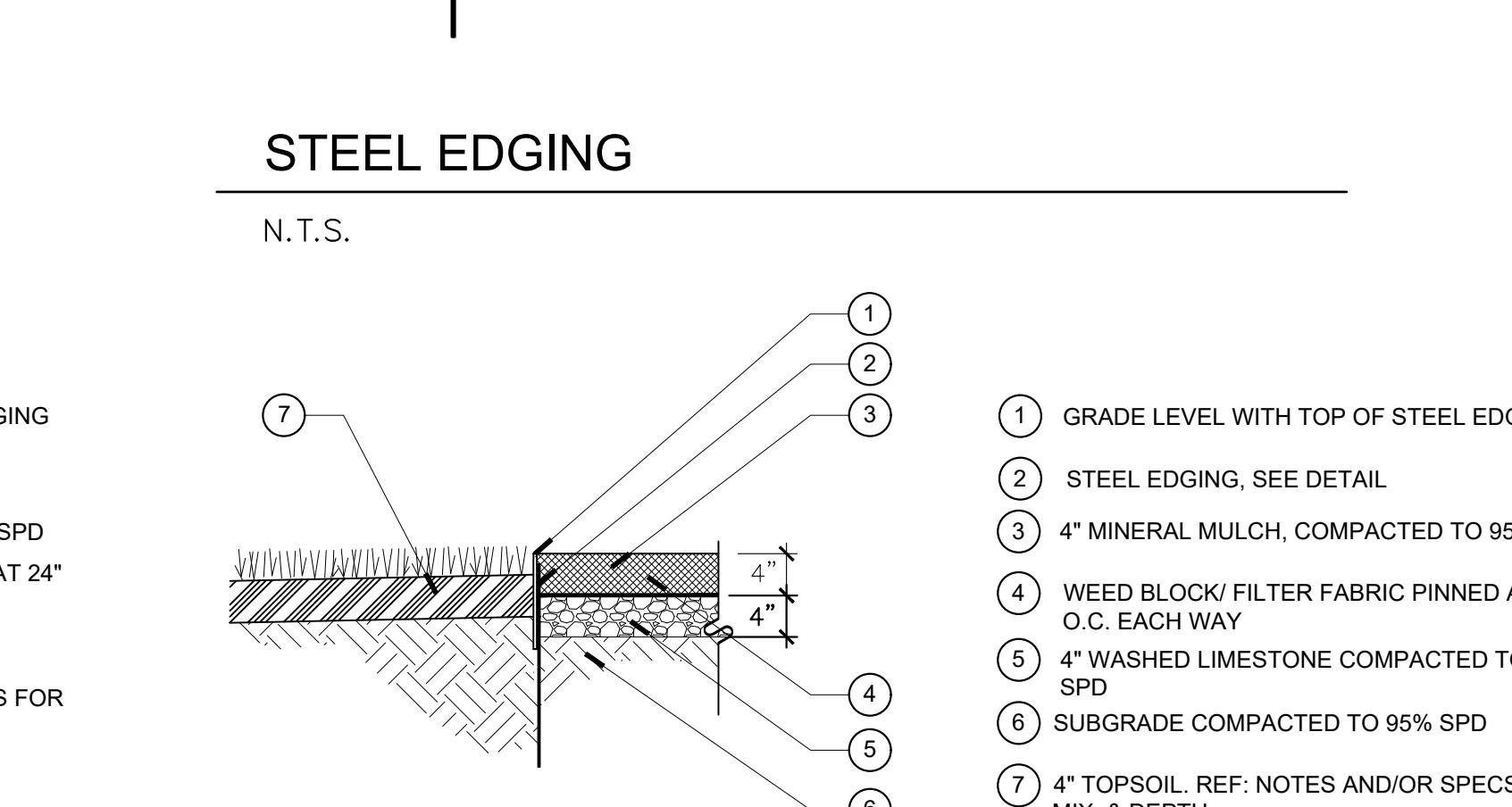
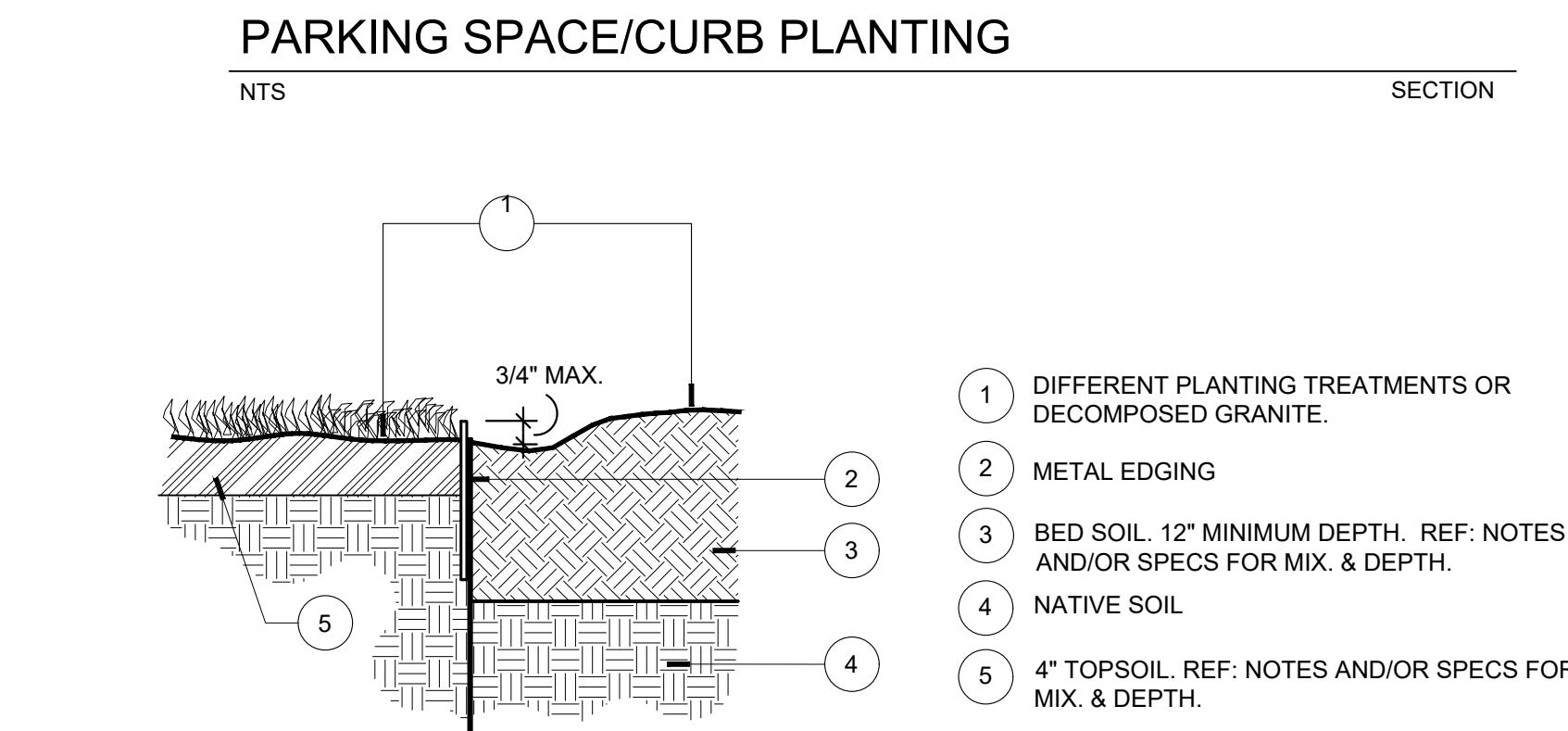
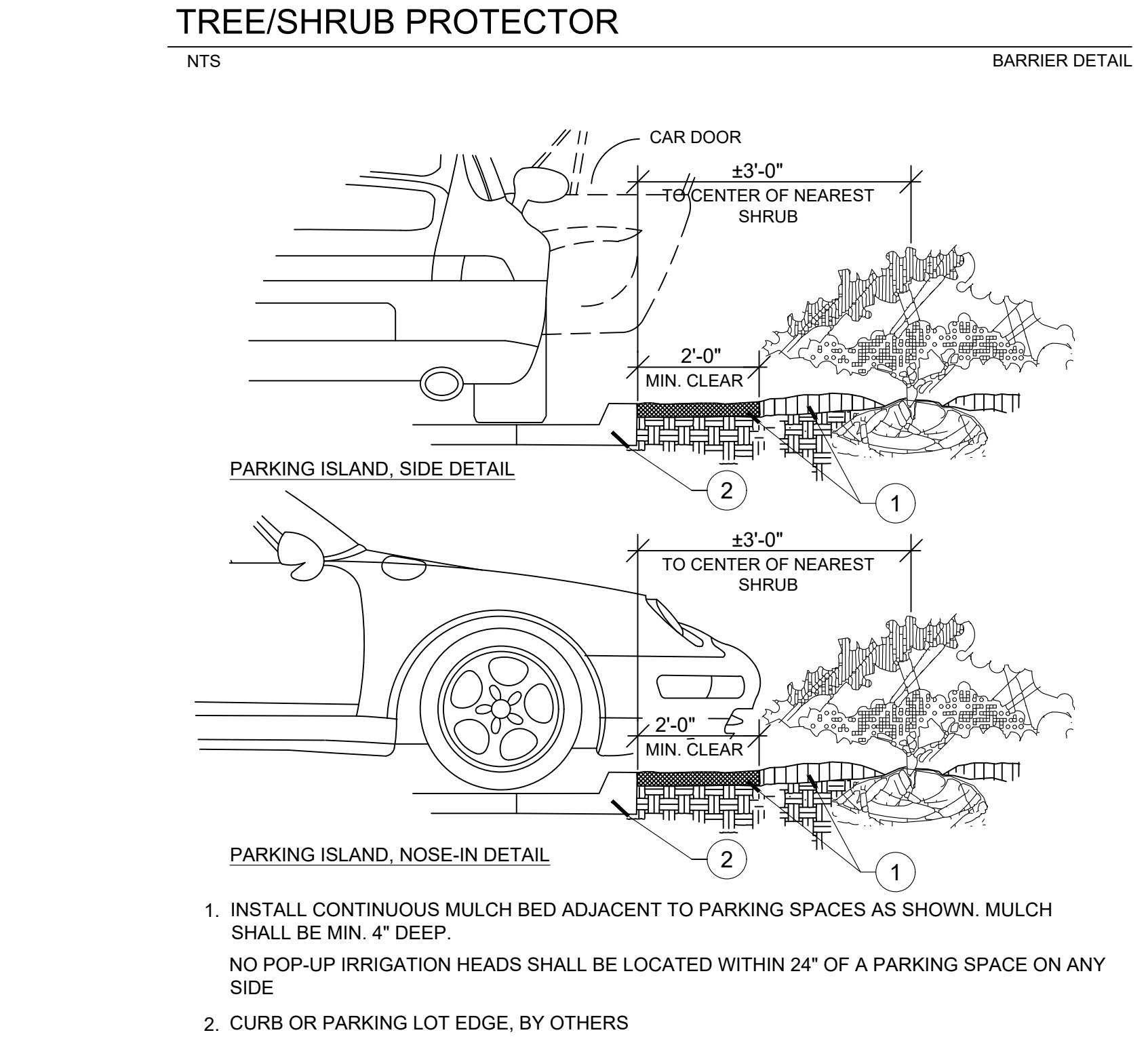
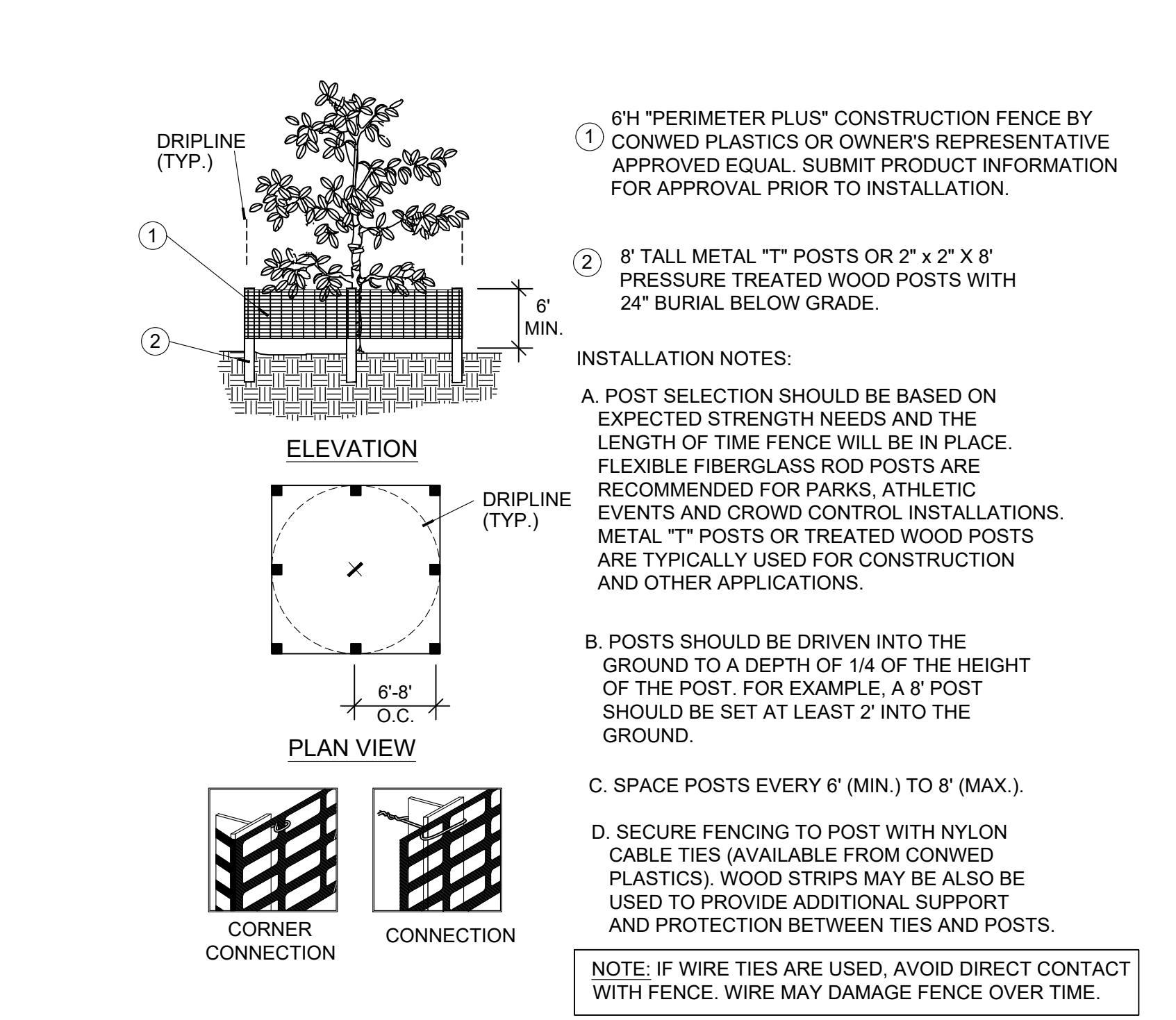
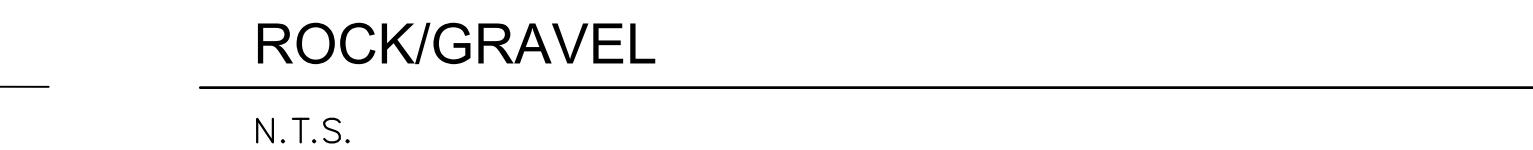
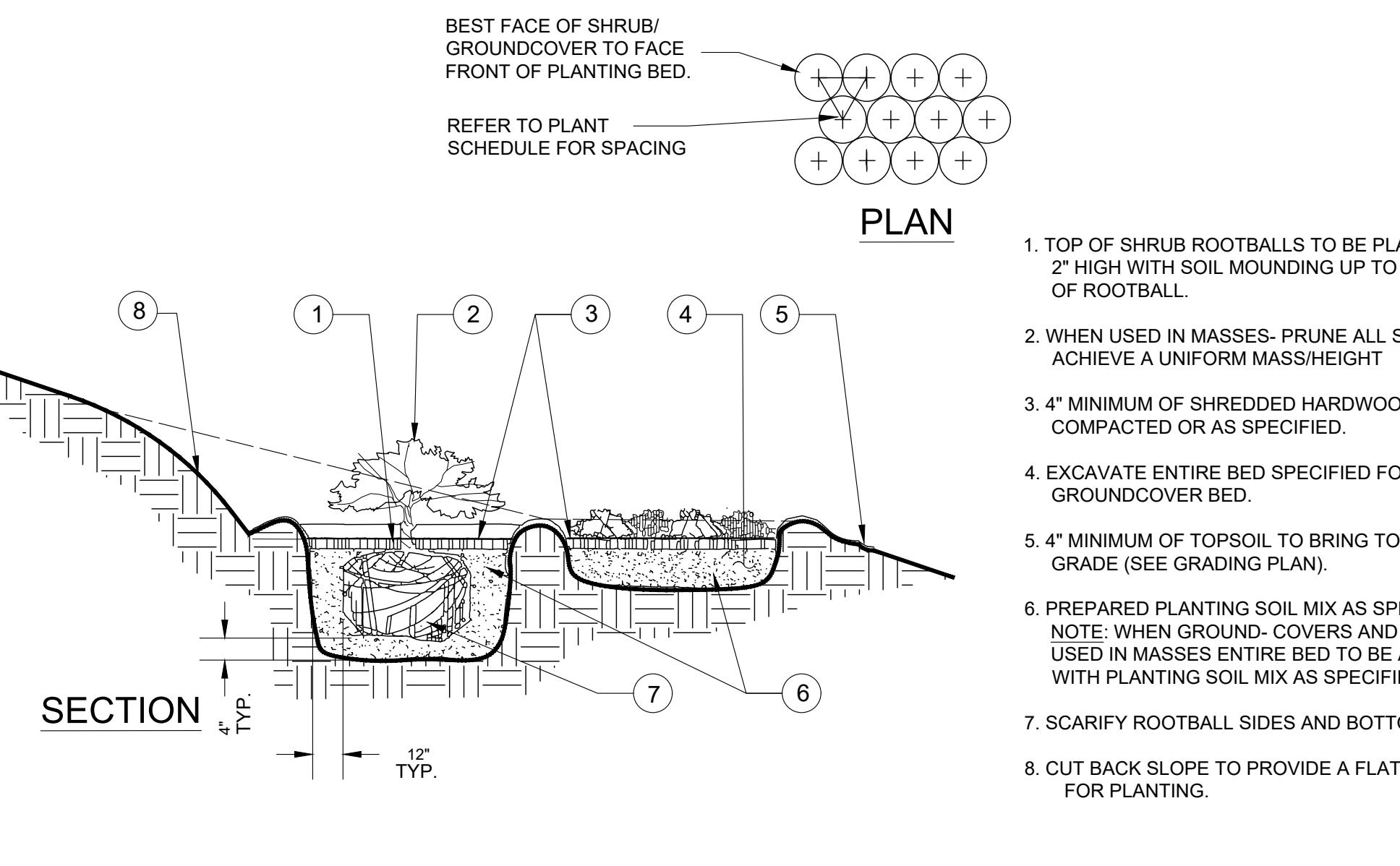
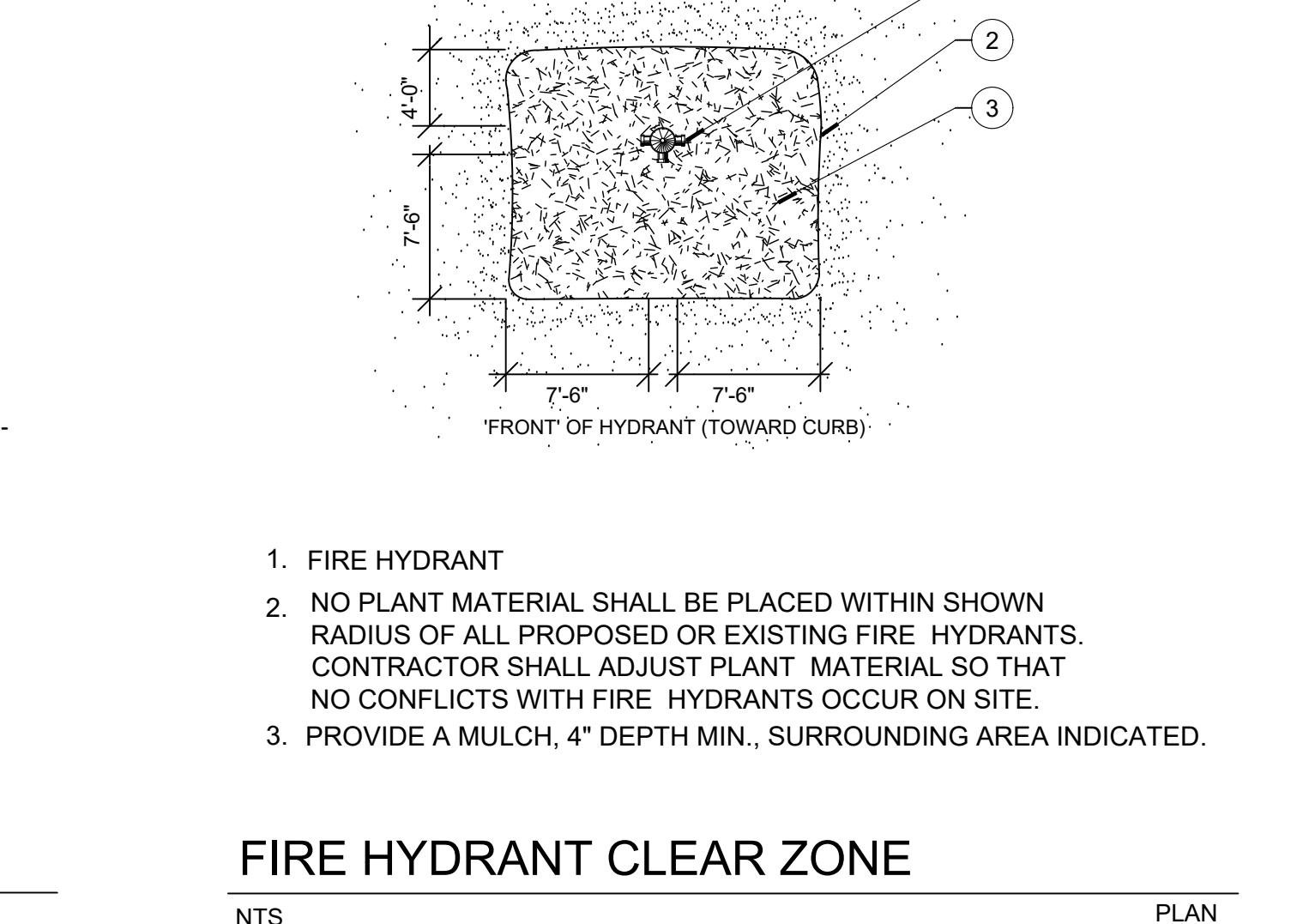
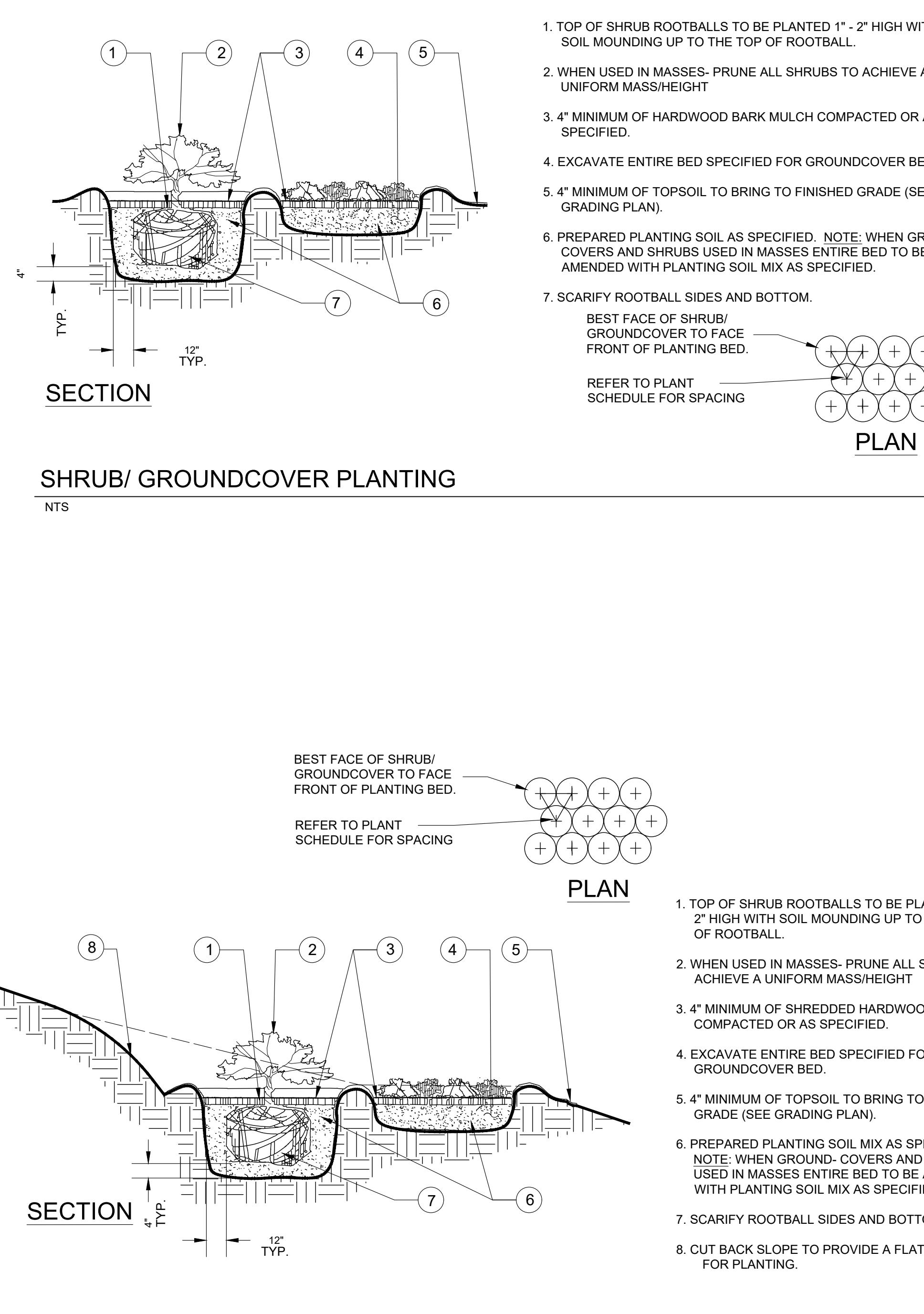
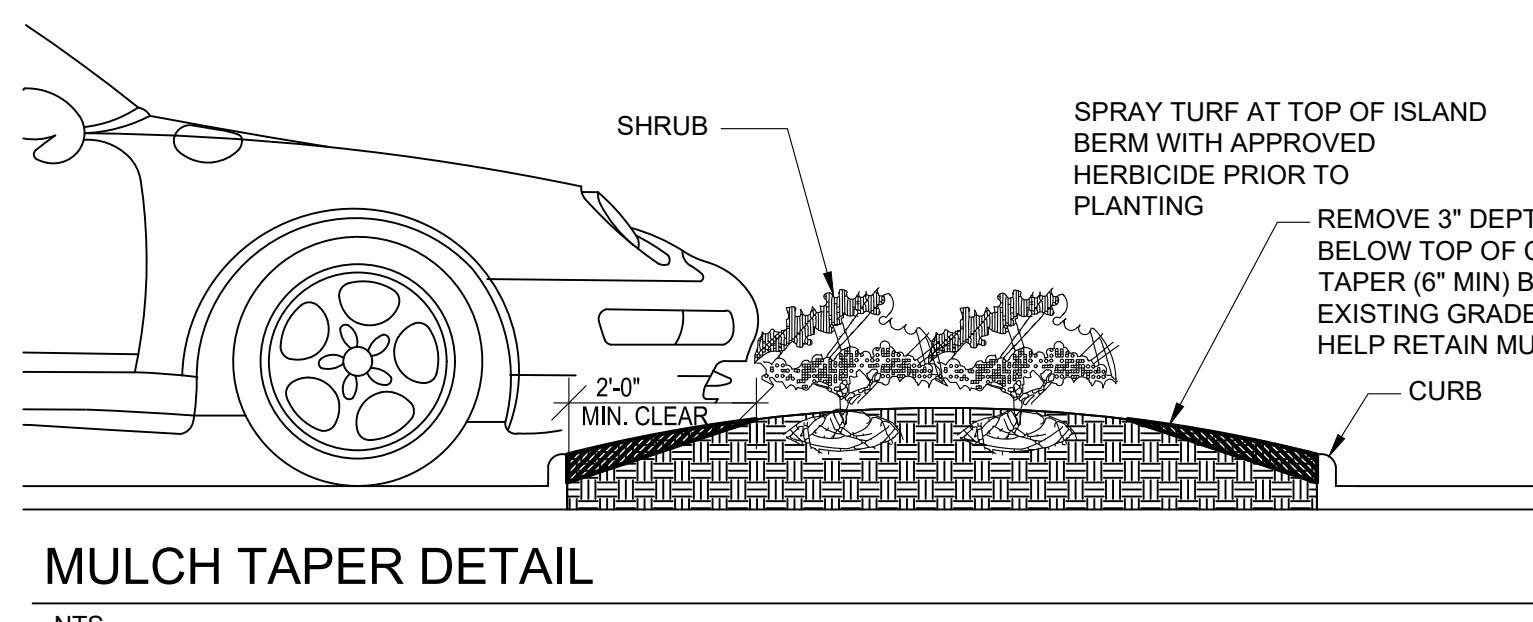
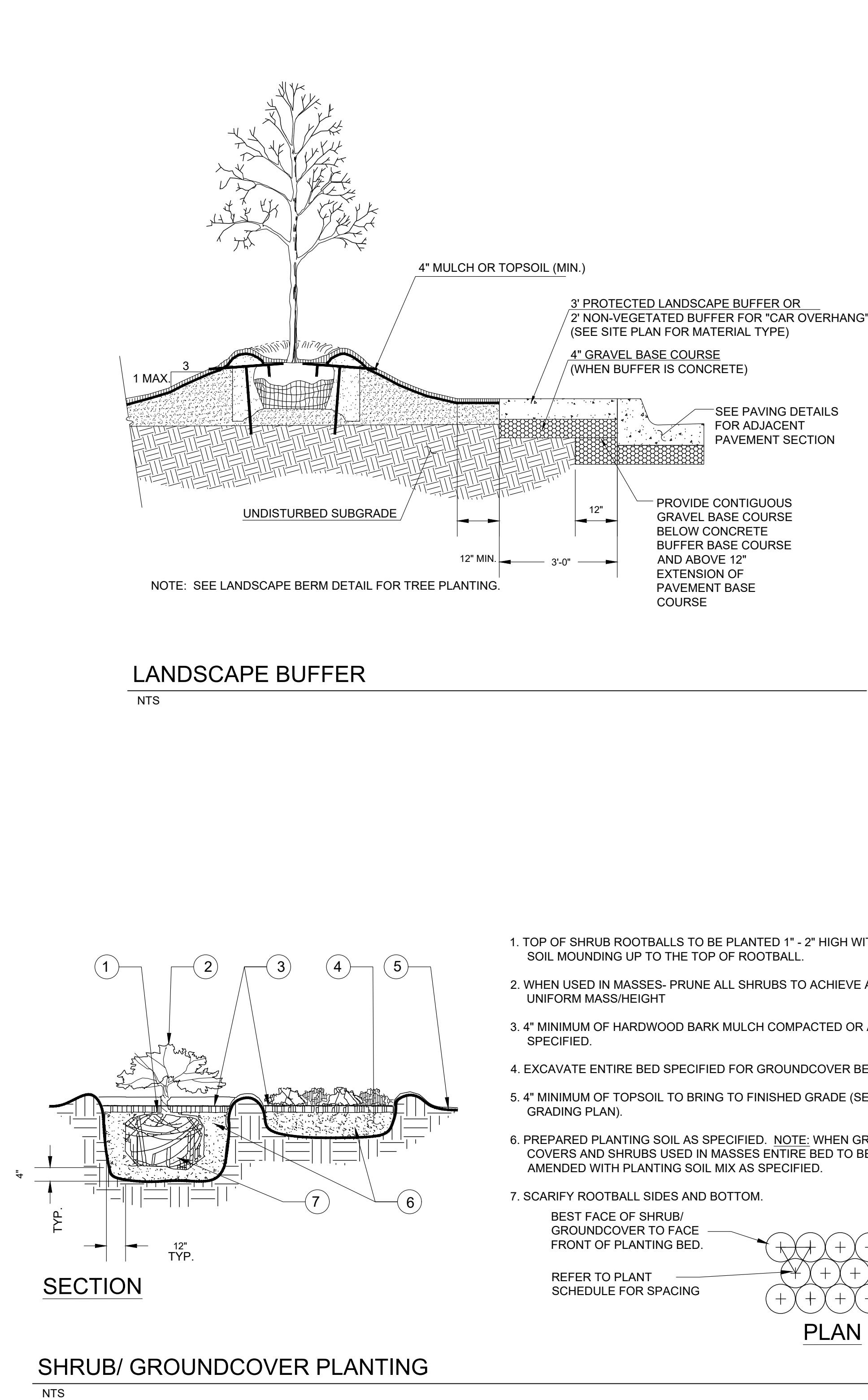


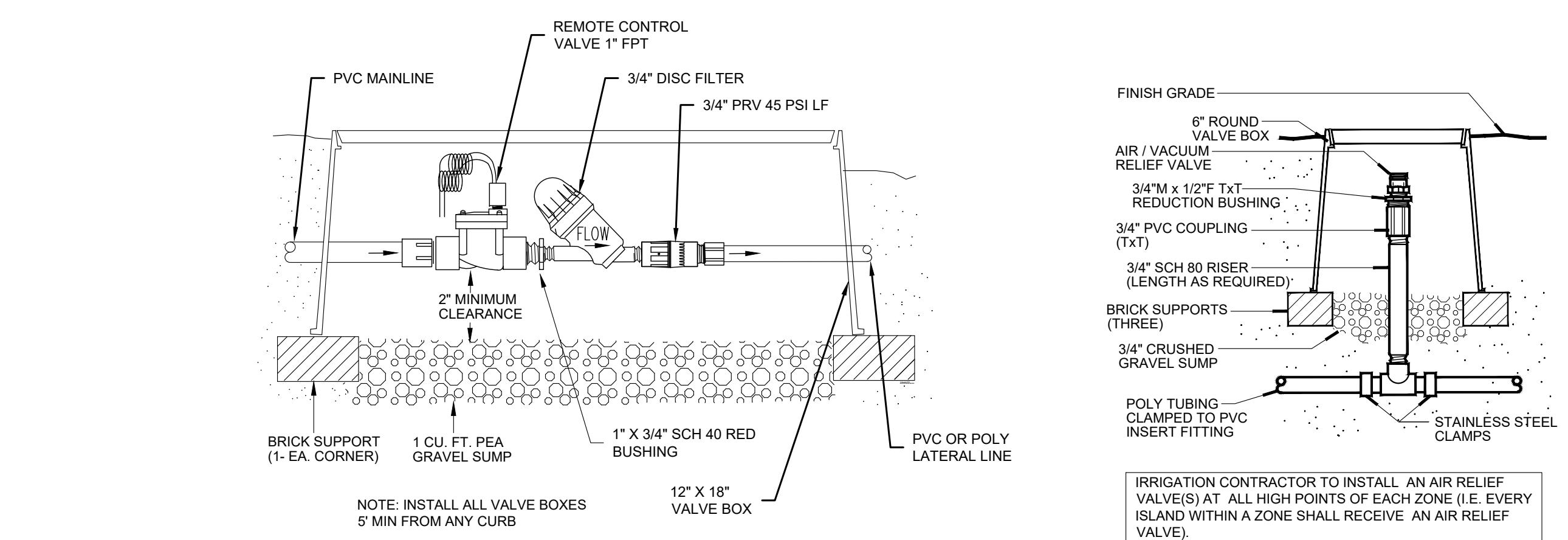


PUBLIC EV
DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF AOR / EOR ARE NOT FOR CONSTRUCTION

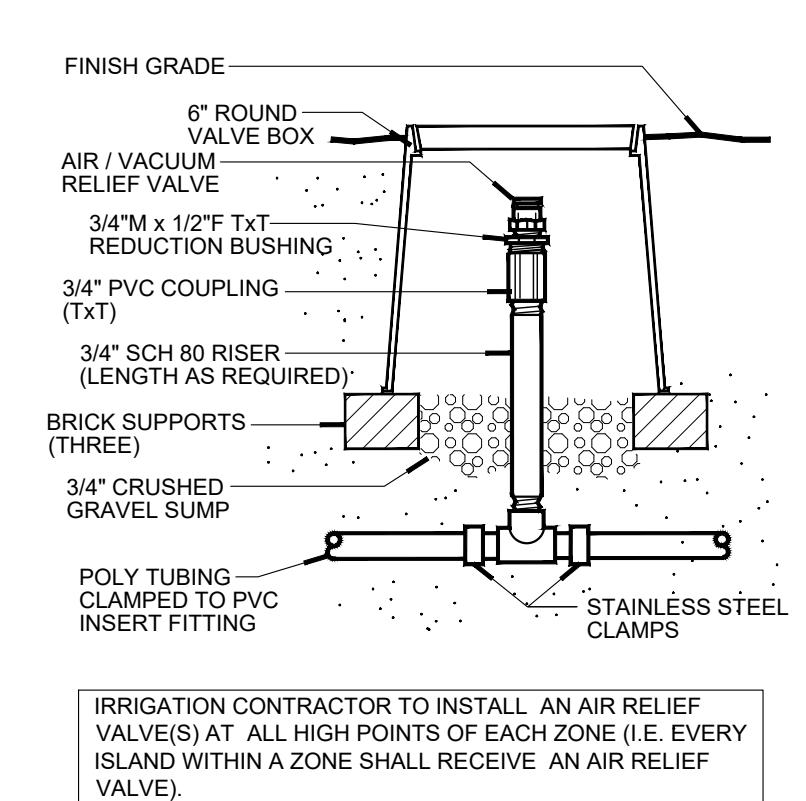
CONSULTANTS
STATE OF UTAH
CHRISTIAN M. ROSE
LIC# 294-A-1004
11/5/2025
DATE
LICENSING BOARD
Landscape Architect
TEST

ISSUE BLOCK	DATE	BY
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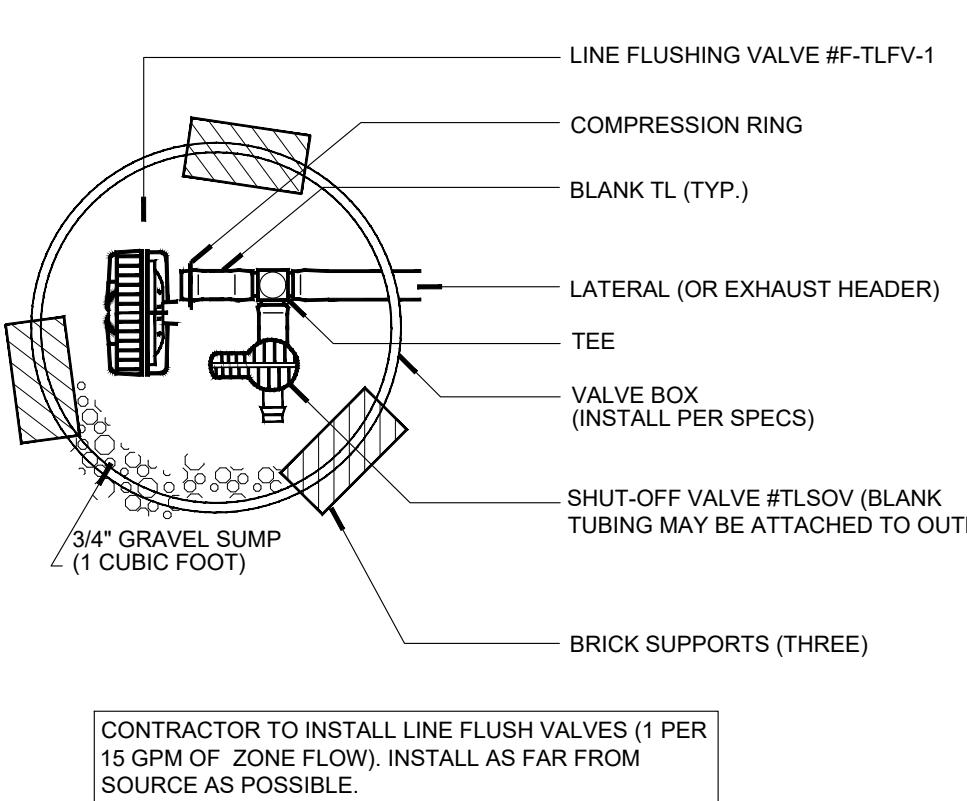




LOW FLOW ZONE CONTROL VALVE KIT



AIR/VACUUM RELIEF
(PLUMBED TO POLY) DETAIL - N.T.S.



LINE FLUSHING VALVE
W/ SHUT-OFF VALVE DETAIL - N.T.S.

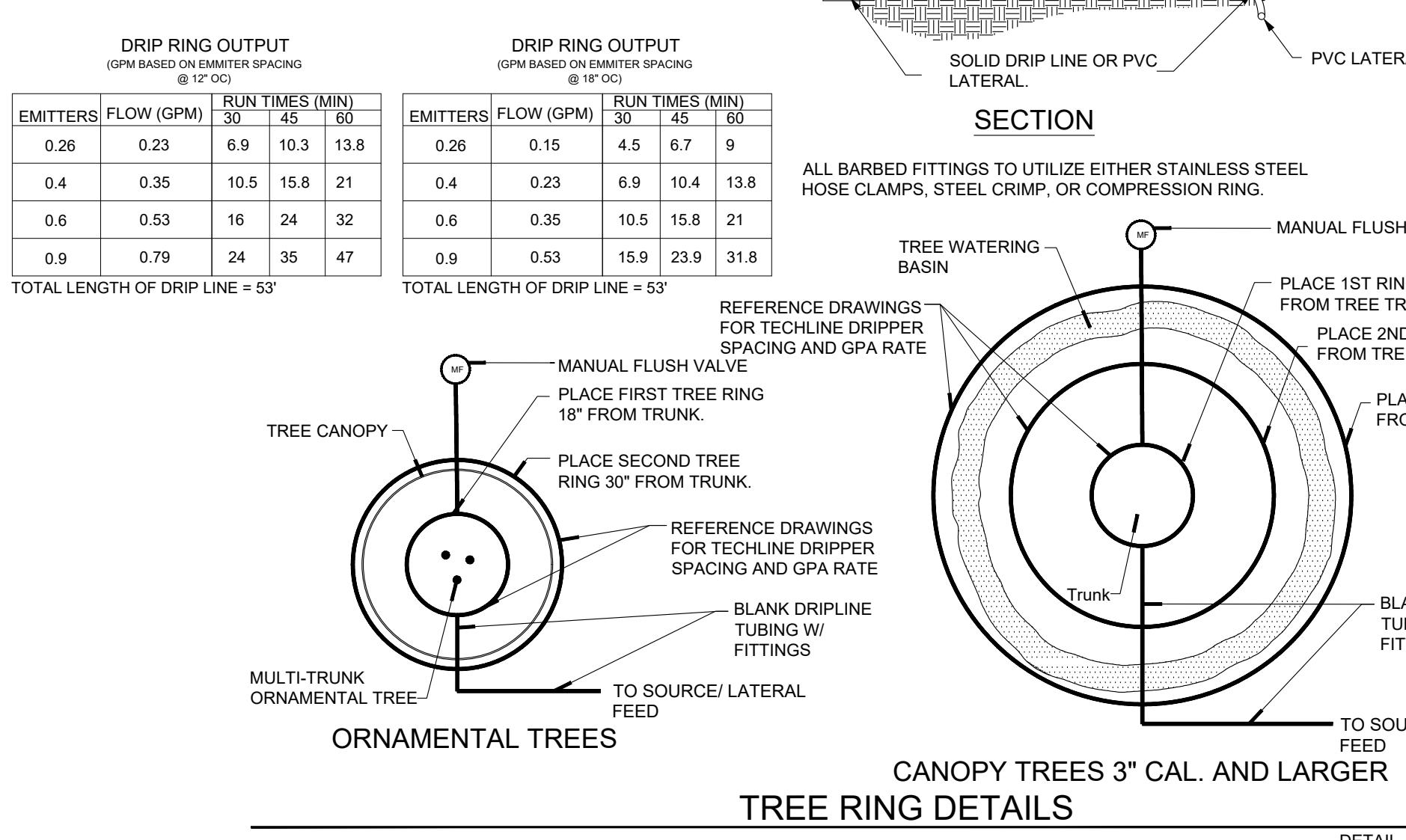
TECHLINE CV-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)					
TECHLINE DRIPPER SPACING	12"	18"	24"		
DRIPPER FLOW RATE (GPH)	0.4	0.6	0.9	0.4	0.6
INLET PRESSURE (PSI)	15	109 86 65	151 120 91	152 116	
	25	325 250 194	459 361 274	458 348	
	35	409 322 244	579 456 346	580 440	
	45	469 369 280	664 523 397	666 506	

TECHLINE-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)					
TECHLINE DRIPPER SPACING	12"	18"	24"		
DRIPPER FLOW RATE (GPH)	0.4	0.6	0.9	0.4	0.6
INLET PRESSURE (PSI)	15	292 233 175	410 322 247	405 308	
	25	397 312 238	558 438 335	553 423	
	35	486 365 279	656 514 394	649 497	
	45	520 407 311	732 574 439	725 555	

PIPE SIZE	SLEEVE SIZE
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3, 4"	6"

DRIPLINE LENGTHS

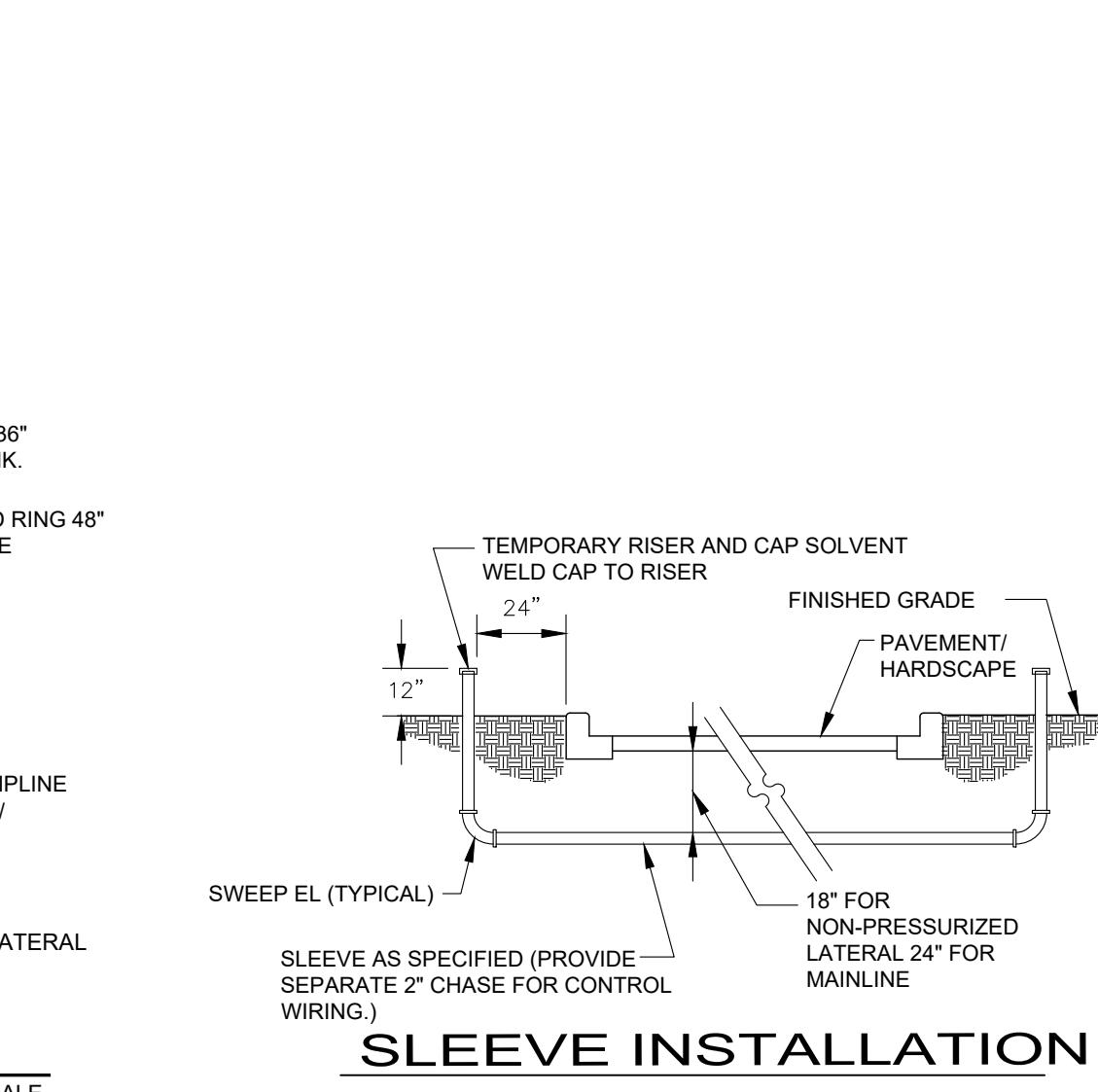
SLEEVE SIZE SCHEDULE



TREE RING DETAILS

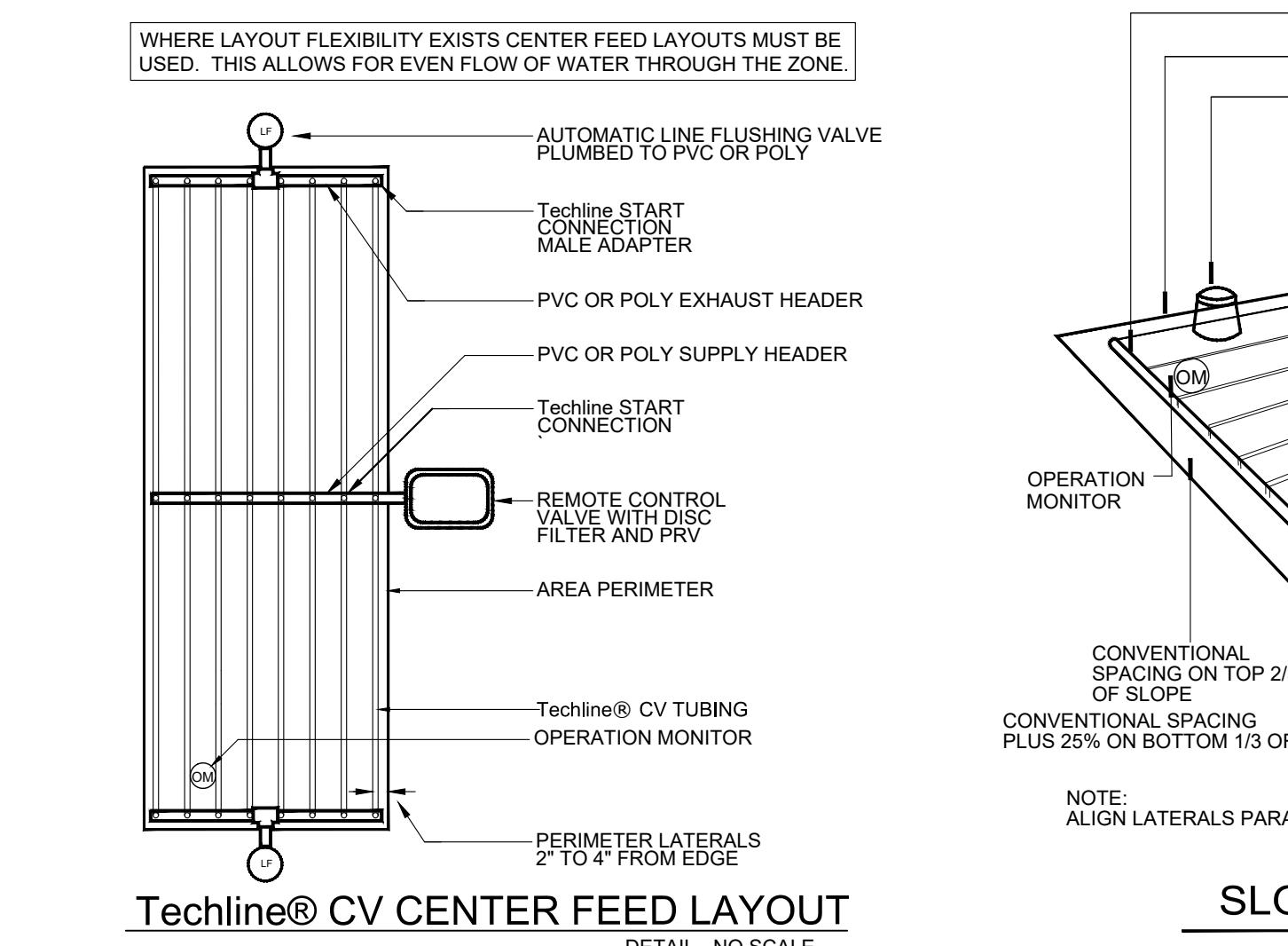
DETAIL - NO SCALE

DETAIL - NO SCALE



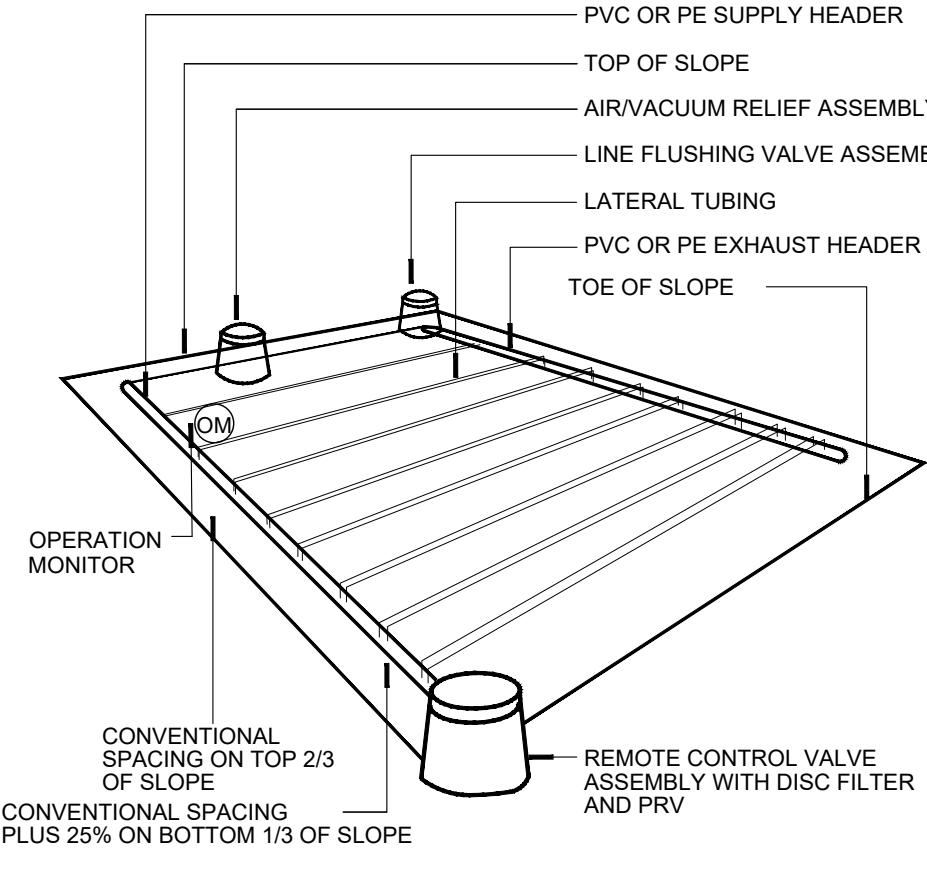
SLEEVE INSTALLATION

DETAIL - N.T.S.



Techline® CV CENTER FEED LAYOUT

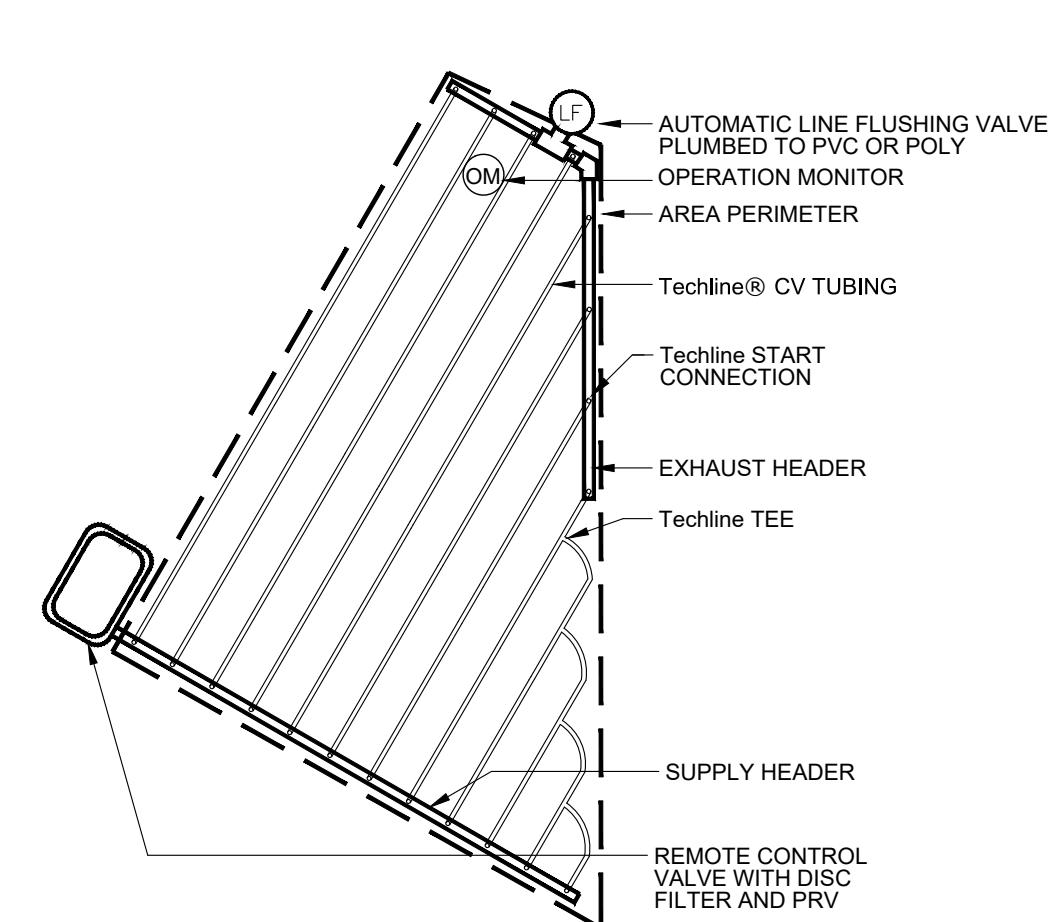
DETAIL - NO SCALE



SLOPE FEED LAYOUT

DETAIL - N.T.S.

ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.



IRREGULAR AREAS: TRIANGULAR

DETAIL - NO SCALE



1380 DRAFTER PKWY - EV

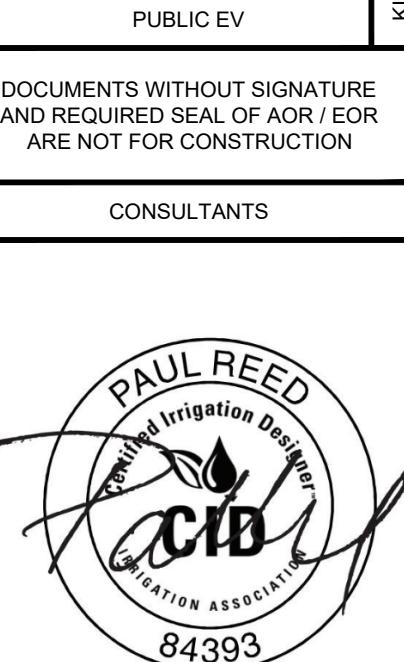
DRAPER, UT 84020

STORE NO.:

KIMLEY-HORN PROJECT NO.:

694507977

EV STALLS: 8



11/05/25

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)



CAUTION!
CONTRACTOR IS TO VERIFY
PRESENCE AND EXACT
LOCATION OF ALL UTILITIES
PRIOR TO CONSTRUCTION.

ISSUE BLOCK	DATE	BY
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DESIGNED BY:		TSI
DRAWN BY:		TSI
CHECKED BY:		CWR
PROT/CYCLE:		TBD
DOCUMENT DATE:	10/13/2025	
SHEET TITLE		
IRRIGATION DETAILS		
SHEET NUMBER	L2.1	