



Development Review Committee

1020 East Pioneer Road
Draper, Utah 84020

STAFF REPORT

August 31, 2023

To: Jennifer Jastremsky, Zoning Administrator

Approved

Date

From: Development Review Committee

Prepared By: Maryann Pickering, AICP, Planner III
Planning Division
Community Development Department
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: Beaumont Bakery — Site Plan Amendment

Application No: SPR-059-2023
Applicant: Ian Galanis, representing Jana Whiting
Project Location: Approximately 82 E. 11400 South
Current Zoning: CR (Regional Commercial)
Acreage: Approximately 0.45 acres (approximately 19,602 square feet)
Request: Remodel and construct an addition to an existing restaurant building.

SUMMARY AND BACKGROUND

This application is a request for approval of a site plan amendment for approximately 0.45 acres located on the south side of 11400 South, at approximately 82 E. 11400 South (Exhibits B and C). The property is currently zoned CR. The applicant is requesting that a site plan amendment be approved to allow for the remodel and addition to an existing restaurant building.



The applicant intends to complete an addition and remodel the existing building, which was formally a Taco Time fast food restaurant. That building has been empty for a few years since Taco Time left this location.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Community Commercial	Exhibit D
Current Zoning	CR (Regional Commercial)	Exhibit E
Proposed Use	Restaurant	
Adjacent Zoning		
East	R3 (Single Family Residential)	
West	CR	
North	CBD (Central Business District – Commercial) - Sandy City	
South	CR	

The Community Commercial land use designation is characterized as follows:

Community Commercial

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Includes the full scope of commercial land uses that require and utilize exposure to the freeway • Intended to be traveler-or commuter-oriented and should provide lodging, food, personal services and other similar uses • Frontage roads • Deeper setbacks for landscaping and enhancements • Limited traffic access points • Visual unity • Uniform design standards and aesthetics • Access to individual properties should be provided only from frontage roads • Well landscaped street frontages • Limited traffic access points for the site • Common off-street traffic circulation and parking areas • Pedestrian access from surrounding residential areas
LAND USE MIX	<ul style="list-style-type: none"> • Large-scale, master-planned commercial centers • Big-box stores and offices
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Community Commercial (CC) • General Commercial (CG) • Interchange Commercial (CI) • Institutional Care (IC)
LOCATION	<ul style="list-style-type: none"> • Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas



According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CR zone is to *provide areas where a combination of destination oriented business, retail commercial, entertainment, and related uses may be established, maintained and protected to serve both residents and nonresidents of the city. Typical uses in this zone include large scale, master planned commercial centers with outlying commercial pads, big box stores, and offices.*

Site Plan Layout. The proposed site plan (Exhibit F) shows an extension to the existing building on the west side. A new outdoor dining and greenhouse area will be added on the south side.

Table 2 Site Plan Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Setbacks			
Front	None	50 feet	Front setback must comply with any applicable landscape buffer.
Rear	None	16 feet	
West Side	None	20 feet	
East Side	None	36 feet	

Landscaping and Lot Coverage. The proposed landscape plan shows a majority of the existing landscaped areas to remain along the north and east property lines. The three existing planters around the building will be removed to add additional square footage to the building. However, landscaping will now be provided for the outdoor patio and around the proposed greenhouse area. Even though landscaping is being removed, it will be made up with the new layout of the site. Existing landscape areas that remain along the north and east property lines will receive enhanced landscaping treatments (Exhibit G).

Table 3 Landscaping Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Lot Coverage	60%	21%	
Overall Landscaping Coverage	20%	38.1%*	
Parking Lot Landscaping	7%	7%	This site is part of the larger shopping center

			and shares parking.
Perimeter Landscaping	10 feet	36+feet	

* 38.1% of the subject site (Lot 14) will be landscaped.

Parking. The subject site is part of a larger shopping center which shares access and parking. All of the existing parking (11 spaces total) located on the same property as the proposed building will be removed for the expansion and remodel of the building (Exhibit F). A total of 443 parking spaces for the shopping center will remain, which provides sufficient parking for this proposed change to the restaurant and all other uses currently in the shopping center. All lots in the development are under common ownership.

Table 4 Parking Lot Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Parking Required (Min/Max)			
Use	34 Spaces	443 shared parking spaces provided for the shopping center.	Parking is sufficient for proposed change to the restaurant and all other uses.

Architecture. The existing building will be modified and added onto to accommodate the proposed business as indicated on the elevation drawings (Exhibit H). An addition and new front door will be added to the western side of the existing building and a new roof feature will be added in the middle of the existing building. This new roof area will create an enlarged seating area with a standing seam metal roof feature. The exterior of the building will be upgraded also and will be primarily cladded with a brick material.

Table 5 Architectural Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Building Height			
Main Building	35 feet maximum	25 feet	
Façade Variation			
Vertical	30 feet	16 to 30 feet	
Horizontal	30 feet	13 to 15 feet	
Materials			
Primary	Minimum of two	Brick and stone	
Secondary	n/a	Brick and stone	
Percentage of Materials			
Front	75% Primary	Approximately 100%	

Rear	75% Primary	Approximately 100%	
Side	75% Primary	Approximately 100%	
Side	75% Primary	Approximately 100%	

Criteria for Approval. The criteria for review and potential approval of a site plan amendment request is found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

E. Standards For Approval: The following standards shall apply to the approval of a site plan:

- 1. The entire site shall be developed at one time unless a phased development plan is approved.*
- 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*
- 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
- 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
- 5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*

H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:

- 1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:*
 - a. The proposed use is consistent with uses permitted on the site;*
 - b. Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
 - c. The proposed use and site will conform to applicable requirements of this Code;*
 - d. The proposed expansion meets the approval standards of subsection E of this section;*
 - e. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and*
- 2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site*

plan after a public hearing that complies with all requirements of this code, including section 9-5-045.

3. *If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
4. *Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

Legal Division Review. The Draper City Attorney has completed his review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

The findings for approval as are follows:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.



DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Department

Draper City Planning Division

Draper City Fire Department

Draper City Legal Counsel

Draper City Building Division



EXHIBIT A
DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments provided.

Engineering and Public Works Divisions Review.

1. No additional comments provided.

Building Division Review.

1. No additional comments provided.

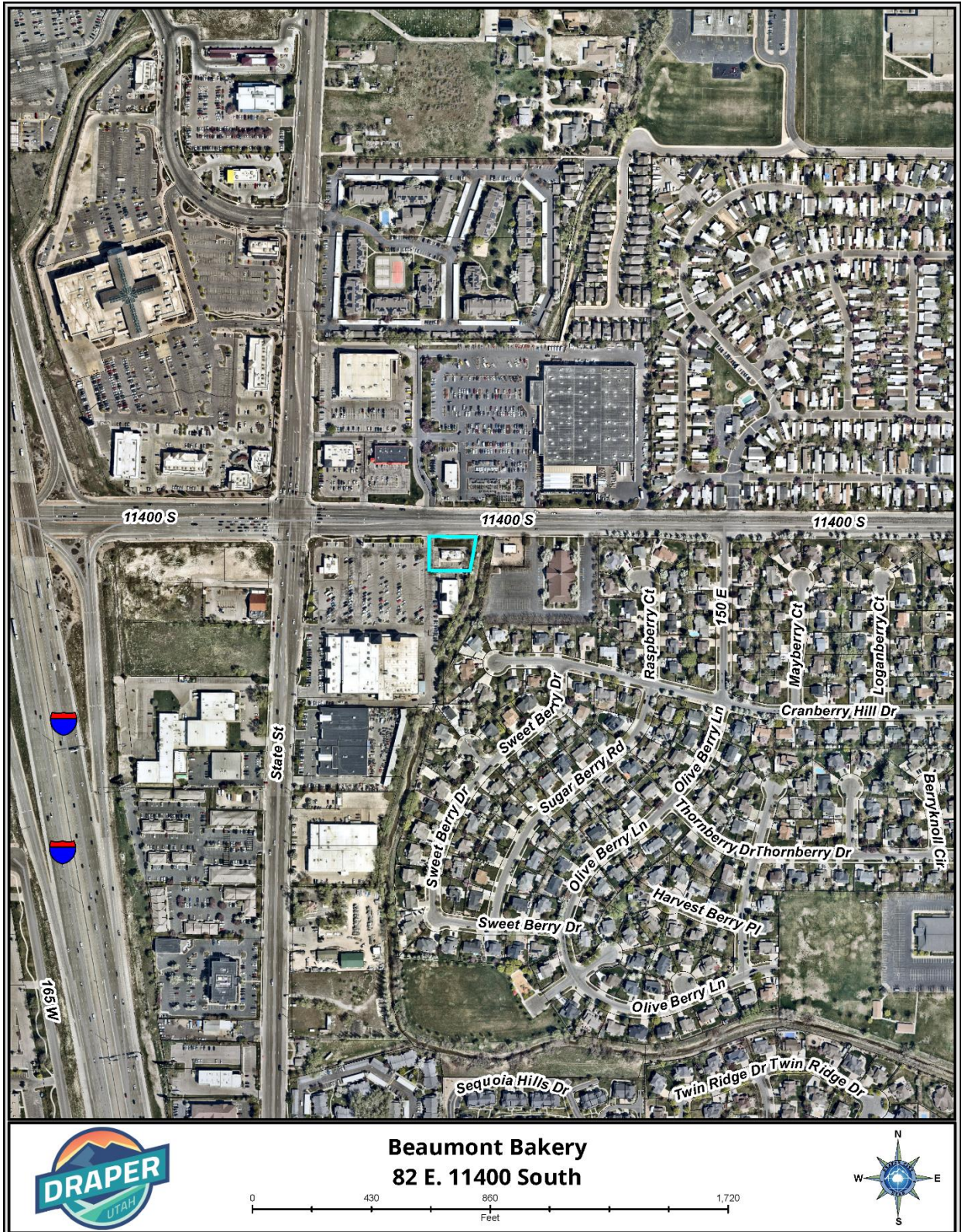
Fire Division Review.

1. No additional comments provided.

Legal Division Review.

1. No additional comments provided.

EXHIBIT B
VICINITY MAP



Beaumont Bakery
82 E. 11400 South

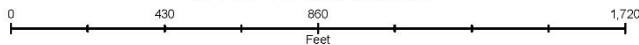
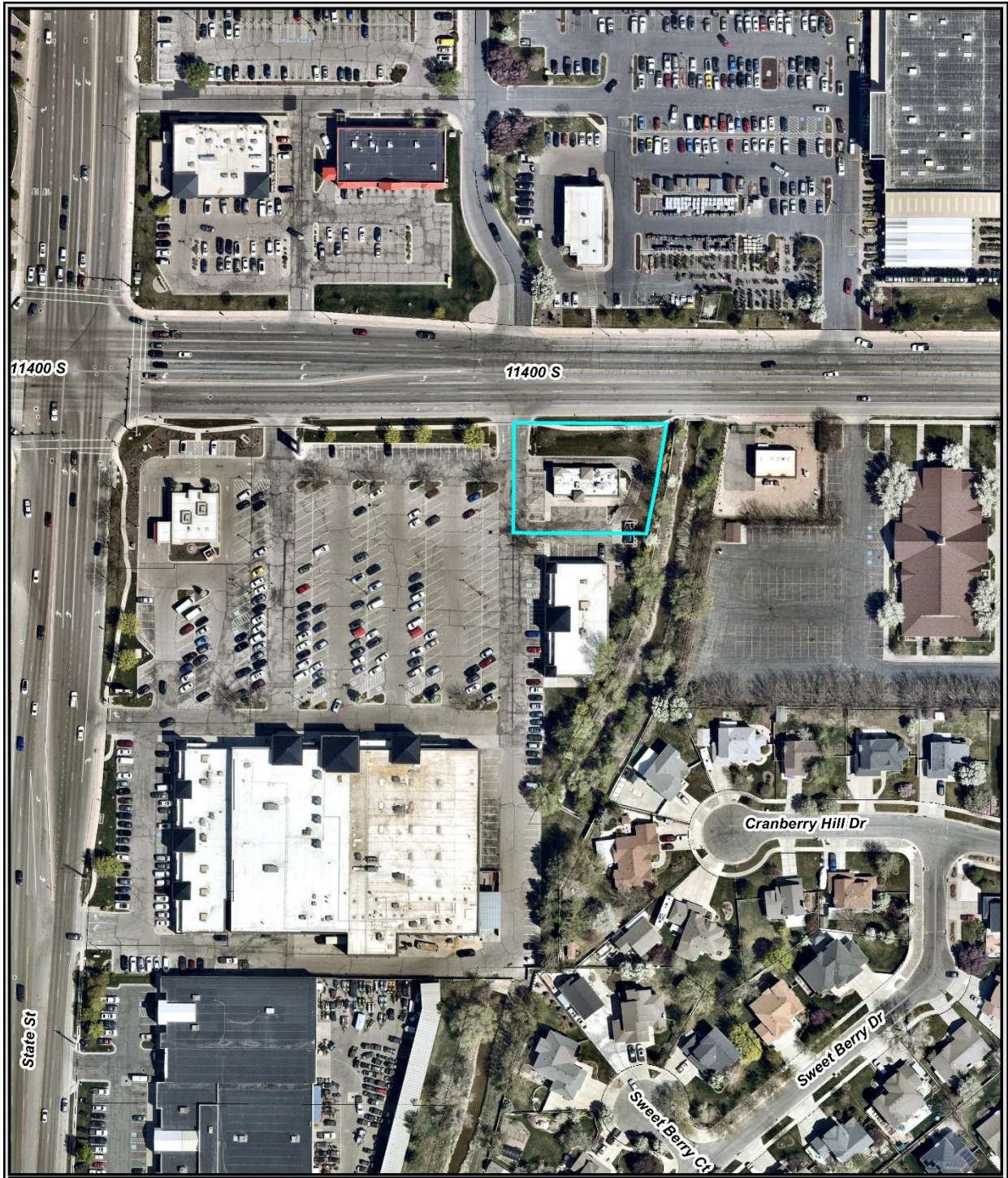
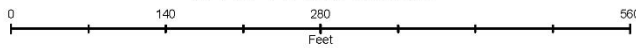


EXHIBIT C
AERIAL MAP



Beaumont Bakery
82 E. 11400 South



**EXHIBIT D
LAND USE MAP**

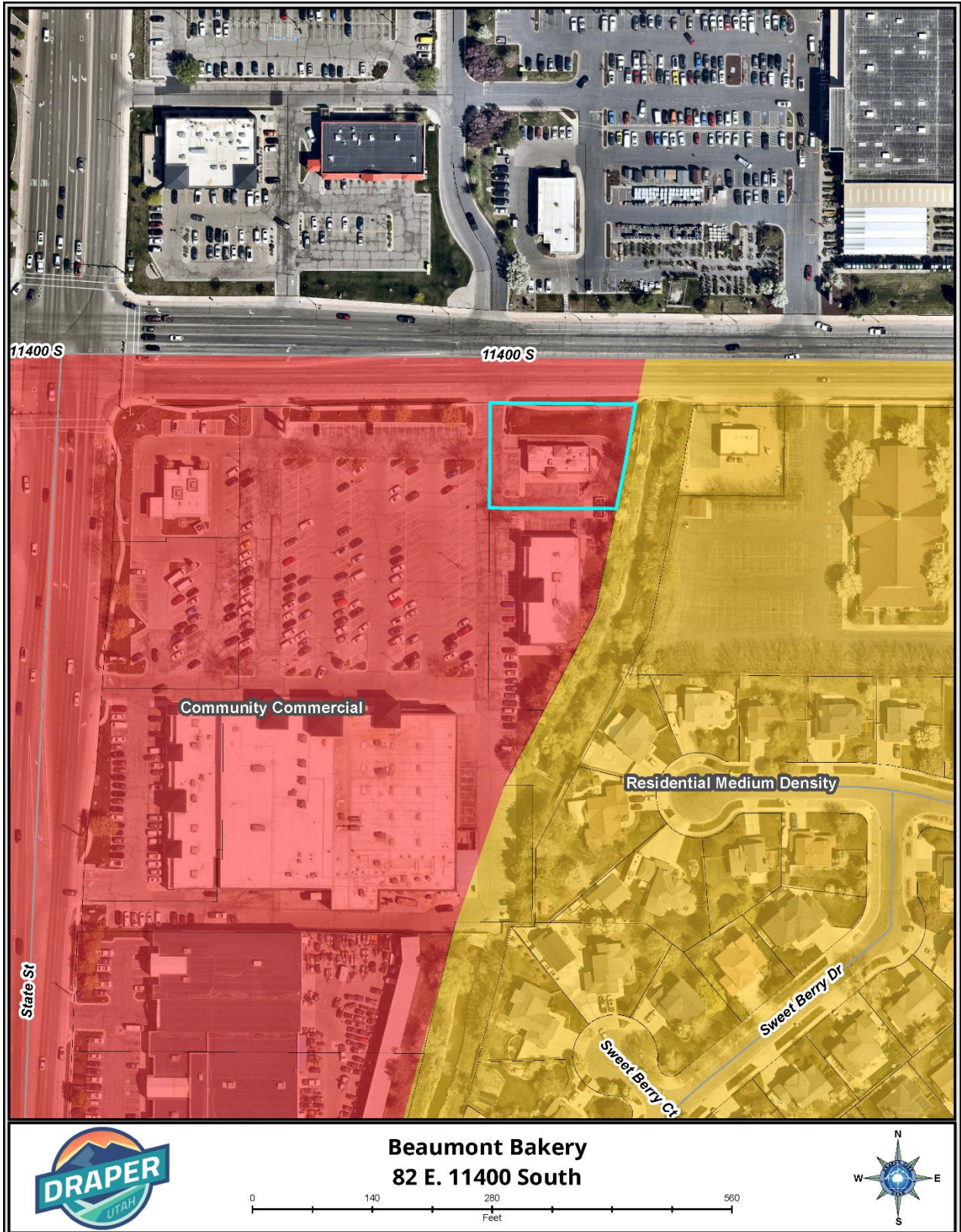
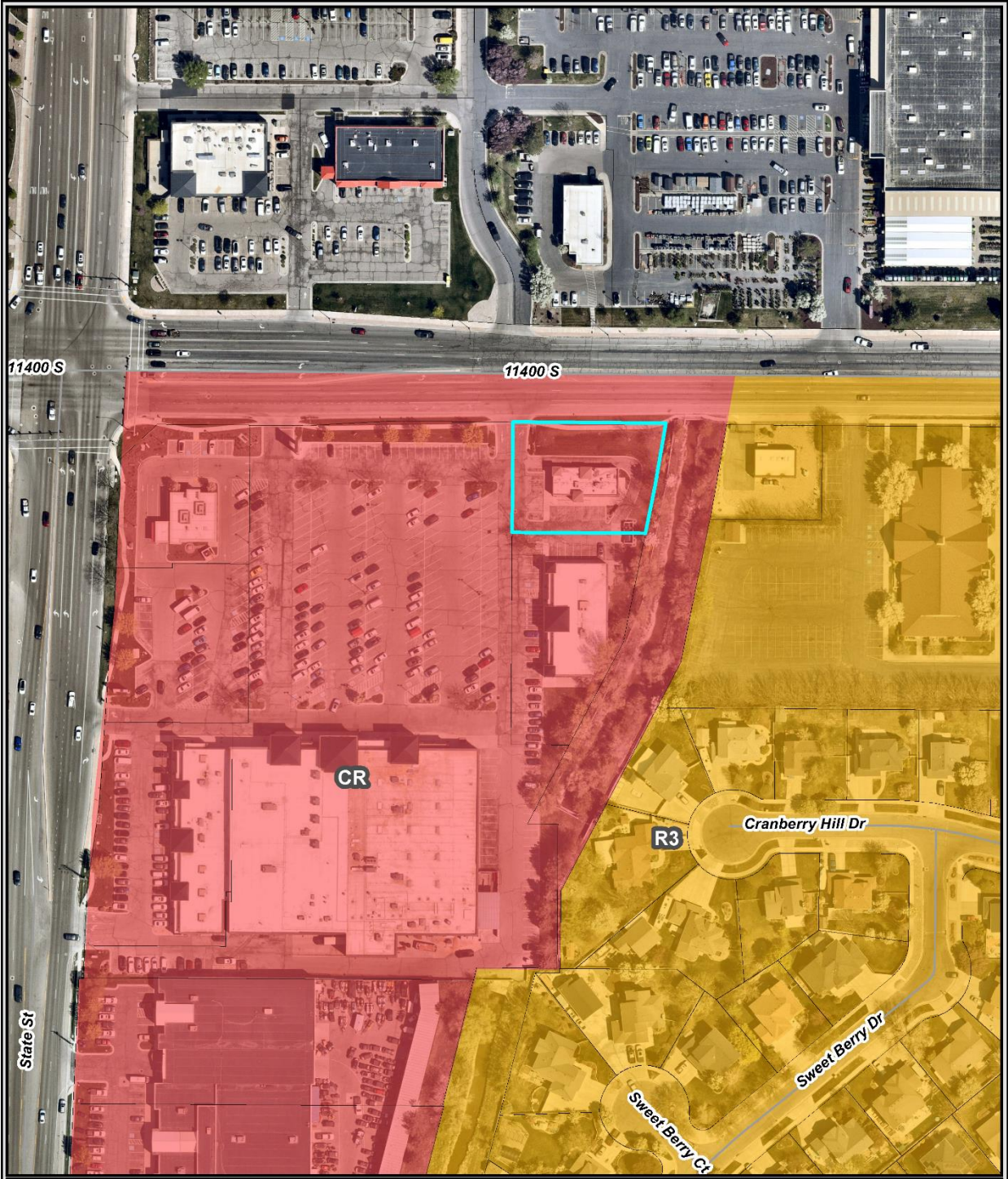
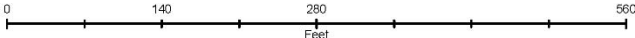


EXHIBIT E
ZONING MAP



Beaumont Bakery
82 E. 11400 South

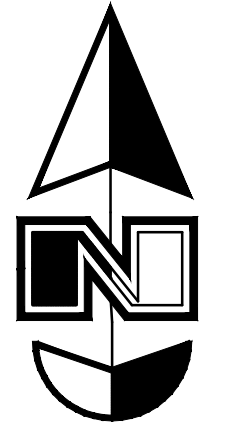


**EXHIBIT F
SITE PLAN**

11400 South Street
Paved Public Street

Site Data
Site Area = 19,508 s.f. (0.448 ac.)
Landscape Area Provided = 7,445 s.f. (38%)
Impervious Area Provided = 7,863 s.f. (40%)
Building Area = Interior 2,995 s.f.
Exterior 1,205 s.f.

Scale: 1" = 10'



Site Construction Notes

- 1 Const. 18" Curb & Gutter (C4.1)
- 2 Const. Asphalt Paving (C4.2)
- 3 Const. Conc. Sidewalk (C4.3)
- 4 Const. 24" Curb & Gutter (C4.1)
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (C2.2, C2.2, C2.2)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) Sign to be mounted on building. (See Accessible Details and Notes) (C2.2)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) Sign to be mounted on building. (See Accessible Details and Notes) (C2.2)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
- 10 Const. Conc. Paving (C4.1)
- 11 Sawcut; Provide Smooth Clean Edge
- 12 Const. Thickened Edge Concrete Sidewalk (C4.1)
- 13 Const. Directional Arrows per MUTCD
- 14 Conn. & Match Existing Improvements
- 15 Const. Landscaping (Coordinate w/ Landscape Plan)

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

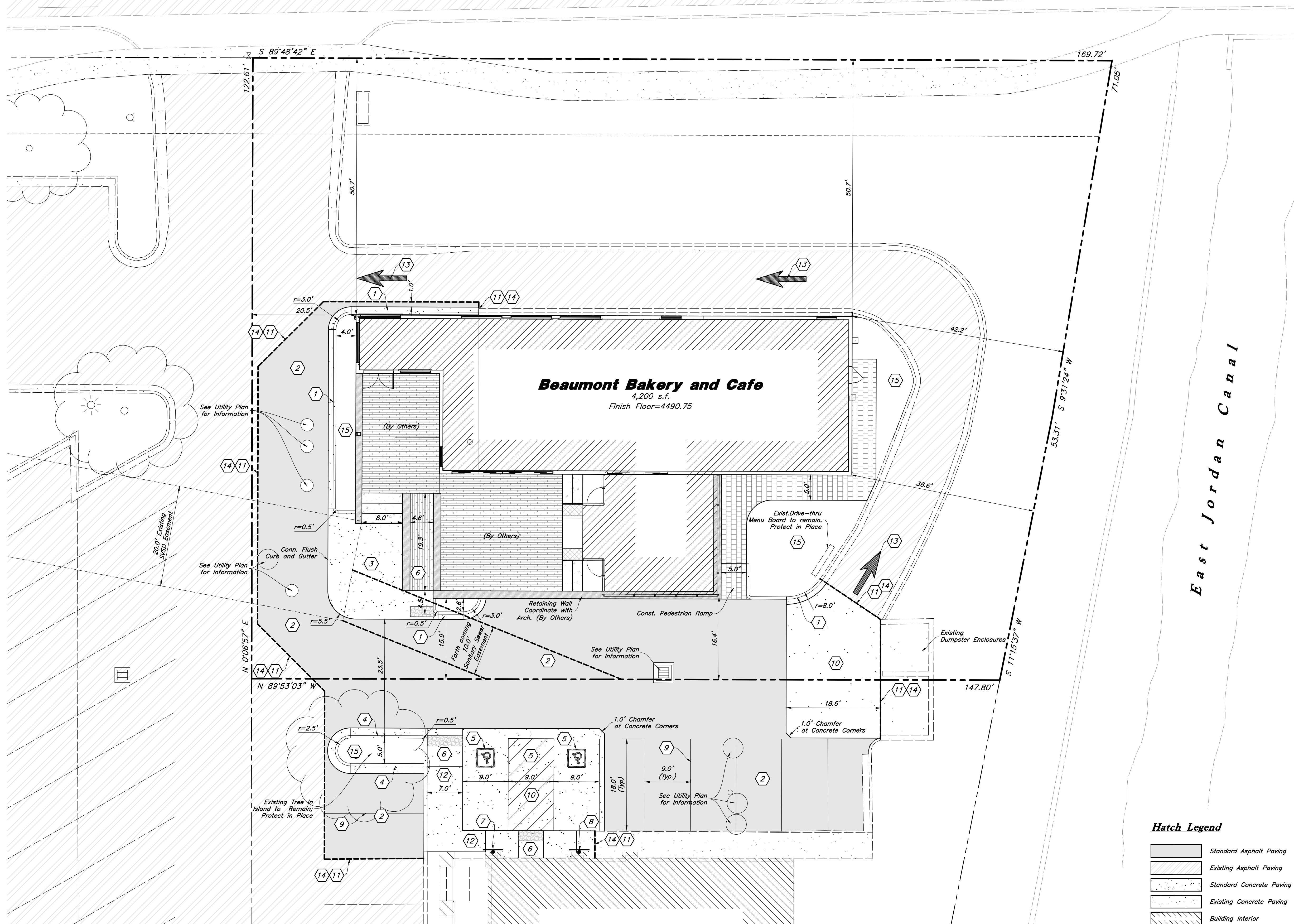
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Hatch Legend

- Standard Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Existing Concrete Paving
- Building Interior

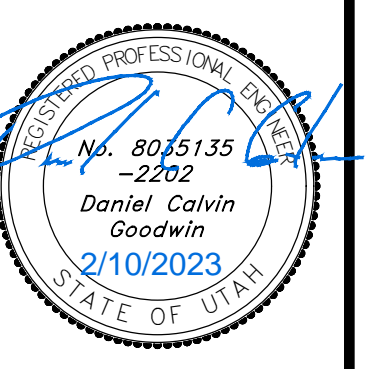


REV	DATE	DESCRIPTION

Designed by: NM
Drafted by: ISL
Client Name: Mountain High Real Estate Advisors
21-196SP

AWA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - awaengineering.net

Site Plan
Beaumont Bakery and Cafe
82 East 11400 South
Draper, Utah



08 Feb, 2023

SHEET NO. **C1.1**

EXHIBIT G
LANDSCAPE PLAN



www.digthedesign.co

838 S Lake Street
Salt Lake City, UT 84105

FOR DESIGN PURPOSES ONLY //
NOT FOR CONSTRUCTION

Architectural Designer // Bri Henke
bri@digthedesign.co 612.413.9553

BEAUMONT BAKERY
82 East 11400 South
Draper, UT / 84020

No.	Vendor	Item

BEAUMONT

LANDSCAPE

Project Number DIG.78
Date 05.09.2023
Design By DIG

L-101

Scale 3/32" = 1'-0"

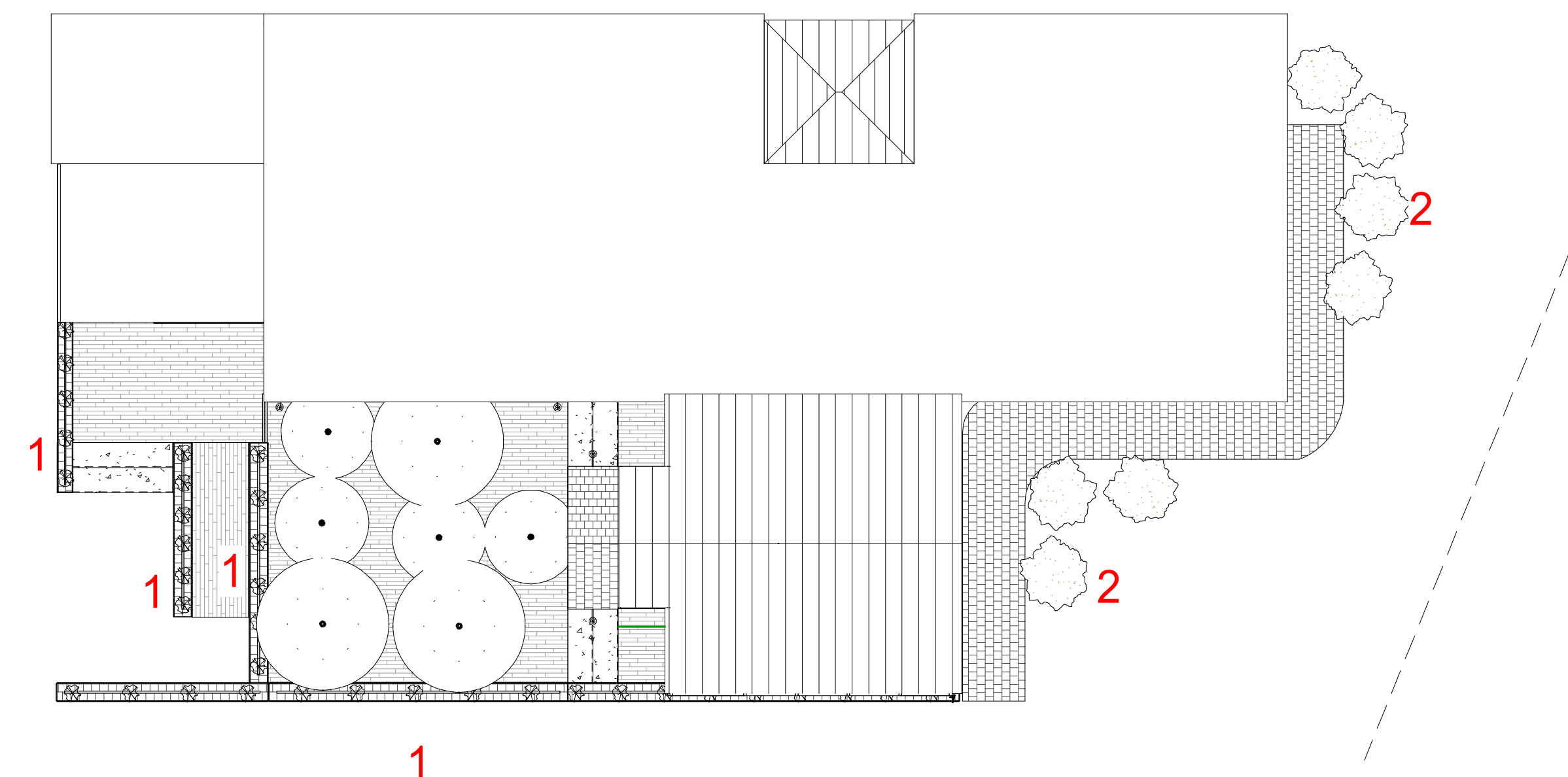
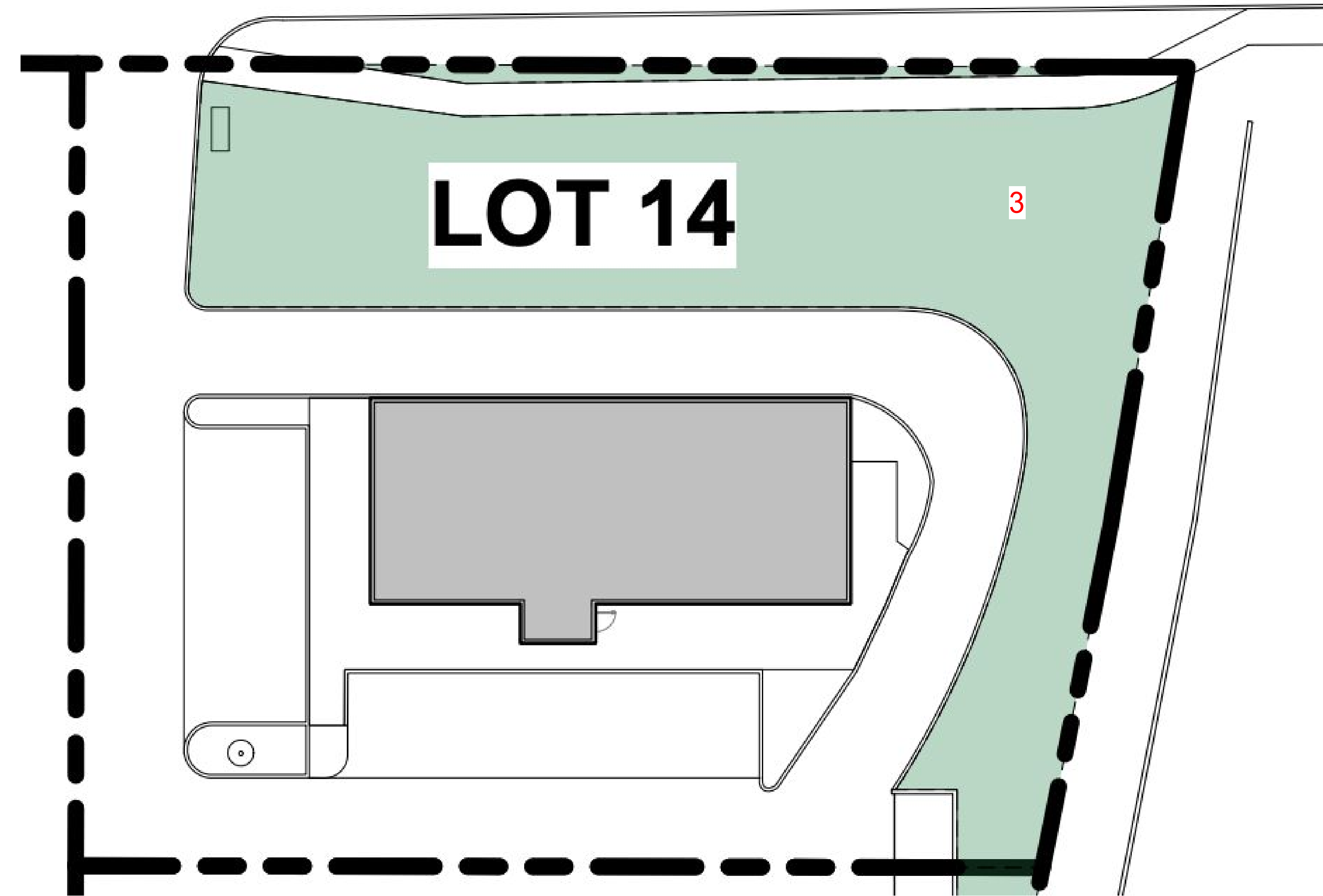
DRAPER CITY CODE (Title 9, Chapter 23)
9-23-100: PARKING LOT LANDSCAPING:
Every parking lot with more than ten (10) spaces and three thousand five hundred (3,500) square feet shall contain internal landscaped areas based on the following design criteria:
A. Amount Of Landscaping: The amount of landscaping on each parking lot shall be as shown below. When lots are provided on a multise site, the amount shall be determined based on the predominant use served by the parking spaces. Total parking lot area shall be measured along the perimeter of the lot, including all parking spaces, accessways, and landscaped islands within the perimeter and at the corners of the lot. Total parking lot area shall not include loading and service areas, but shall include customer service drive-up areas and accessways jointly used by parking lot and service traffic:
1. Multiple-family residential sites: Ten percent (10%) of total parking lot area.
2. Office and commercial sites: Seven percent (7%) of total parking lot area.
3. Industrial or warehouse sites: Five percent (5%) of total parking lot area. (Ord. 394, 8-7-2001)
B. Design: Parking lot islands shall be at least five feet (5') wide and one hundred (100) square feet in area. A minimum of one tree shall be planted per three hundred (300) square feet of overall internal landscaped area, with at least one shade tree planted in each island. The remainder of the island shall be landscaped with additional shrubs, ground cover, or turf, and shall include an appropriate irrigation system. Plants and trees may be grouped in order to create larger landscaped area. Plantings should:
1. Anticipate foot traffic patterns;
2. Be used to discourage foot traffic where dictated by safety concerns; and
3. Not impair adequate visibility for the safety of pedestrians and vehicles. (Ord. 1132, 2-17-2015)
C. Location: Islands shall be located in the following priority:
1. To define major drives and accessways;
2. To delineate ends of parking rows;
3. At aisle intersections; and
4. Within parking rows. (Ord. 394, 8-7-2001)

LOT#	LOT AREA	LANDSCAPE	COVERAGE %
LOT 14	16,508 SF	6,290 SF	38.1%

LANDSCAPING LEGEND

- Patio Landscaping
Green Mountain Boxwoods
Seasonal Flowers
- Rear Building Landscape Area
Yellowwood - Cladrastis, Kentucky, or Perkins Pink
Hardscape - 1"-2" Mexican Beach Cobble
- Please label the outside areas of the exterior with "Existing Landscaping to Remain"

* Future landscaping TBD by client.



1 SITE PLAN // landscape
3/32" = 1'-0"

**EXHIBIT H
ELEVATIONS**



Beaumont Bakery & Café



838 S Lake Street
Salt Lake City, UT 84105

FOR DESIGN PURPOSES ONLY //
NOT FOR CONSTRUCTION

Architectural Designer // Bri Henke
bri@digthedesign.co 612.413.9553

BEAUMONT BAKERY
82 East 11400 South
Draper, UT / 84020

JURISDICTION // Salt Lake County

ZONING // C-2

PARCEL NUMBER // 28-19-301-031-0000

BUILDING CODE // The following are the adopted editions of Construction Codes in Draper:

- 2018 International Building Code with Appendix "J"
- 2018 International Mechanical Code
- 2018 International Fuel Gas Code
- 2018 International Plumbing Code
- 2018 International Energy Conservation Code (ASHRAE 90.1)
- 2020 National Electrical Code
- 2009 ICC/ANSI 117.1 Accessible and Usable Buildings & Facilities

The Utah Code adopts statewide amendments to the adopted building codes, which are enforced in Draper City. For more information, visit:

R156-15A State Construction Code Rule
15A State Construction and Fire Codes Act (PDF)
City Ordinances frequently requested:

Retaining Wall Ordinance and Exemptions
Review Protocol for Building Astride Active Faults
Visit the Citizens' Access Portal (CAP) for updates on inspections, permits, and more.

Sheet List	
Sheet Number	Sheet Name

0000	COVER SHEET
A-101	EXISTING PLAN
A-102	DEMO PLAN
A-103	SITE PLAN
A-104	PROPOSED PLAN
A-105	AREA PLAN + SCHEDULE
A-106	ENLARGED RESTROOMS
A-107	FURNITURE + FINISH PLAN
A-201	EXISTING ELEVATIONS
A-202	EXISTING ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-204	EXTERIOR ELEVATIONS
A-205	INTERIOR ELEVATIONS
A-301	SECTIONS EAST + WEST
A-302	SECTIONS NORTH + SOUTH
A-601	DOOR + WINDOW SCHEDULE
E-101	MECHANICAL + ELECTRICAL
G-001	GENERAL NOTES
I-401	3D VIEWS // INTERIOR
I-402	3D VIEWS // GREENHOUSE
I-403	3D VIEWS // PATIO
I-404	3D VIEWS // EXTERIOR
L-101	LANDSCAPE
LS-101	LIFE SAFETY PLAN
P-101	ROOM SCHEDULE PLUMBING PLAN

Room Name	Room Number	Area
ENTRY DECK	1	196 SF
COVERED PATIO	2	209 SF
VESTIBULE	3	207 SF
DINING AREA	4	1215 SF
KITCHEN	5	846 SF
MECH	6	11 SF
RESTROOM	7	49 SF
RESTROOM	8	49 SF
GREENHOUSE	9	563 SF
PATIO	10	625 SF

AREA SCHEDULE	
Name	Area

Exterior	1205 SF
Interior	2995 SF

GENERAL NOTES:

- VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE COMMENCING ANY WORK
- ALL INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL [UNLESS NOTED OTHERWISE]
- ALL EXTERIOR DIMENSIONS ARE TO REMAIN AS IS [UNLESS OTHERWISE NOTED]
- ALL WORK SHALL COMPLY WITH THE CITY OF DRAPER AND ORDINANCES AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMAN OF THE RESPECTIVE TRADES
- UTILITIES (GAS, WATER, ELECTRIC) TO BE COORDINATED WITH THE CITY OF OGDEN PRIOR TO COMMENCEMENT OF CONSTRUCTION
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS. ANY DISCREPANCIES OR PROBLEMS SHALL BE REPORTED TO THE OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DO NOT SCALE THE DRAWINGS. ANY DIMENSIONAL DISCREPANCIES SHALL BE REPORTED TO THE OWNER BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND SCHEDULING ALL INSPECTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION WILL COMPLY WITH APPLICABLE LOCAL ORDINANCES AND BUILDING CODES BY LICENSED CONTRACTORS.
- DESIGNER IS NOT RESPONSIBLE FOR THE EXECUTION OF BUILDING CONSTRUCTION; CONTRACTOR + ENGINEER TO CONFIRM ANY STRUCTURAL / FIRE RATED CONDITIONS.

The following items will require separate permits: Retaining walls (>4' or supporting a surcharge), swimming pools, solar and geo-thermal heating systems, and photo-voltaic and wind generated electrical systems. Separate plans, specifications, and applications are to be submitted and reviewed prior to issuance of these permits.

No.	Vendor	Item

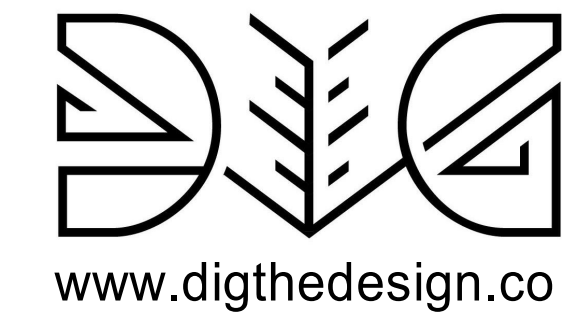
BEAUMONT

COVER SHEET

Project Number	DIG.78
Date	05.09.2023
Design By	DIG

0000

Scale



838 S Lake Street
Salt Lake City, UT 84105

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BEAUMONT BAKERY
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Draper, UT / 84020

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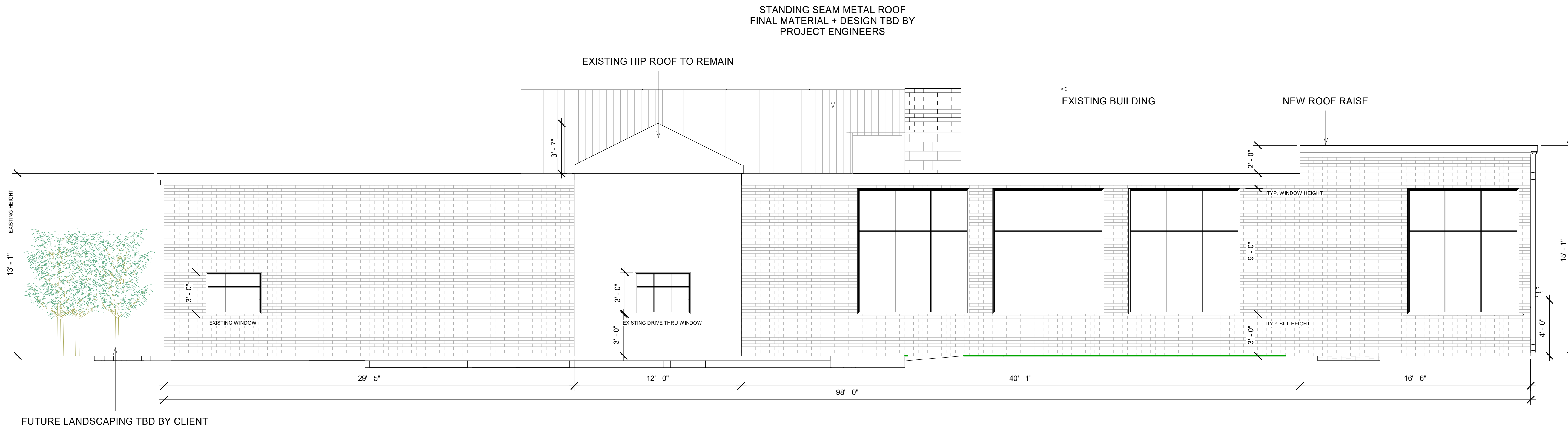
BEAUMONT

**EXTERIOR
ELEVATIONS**

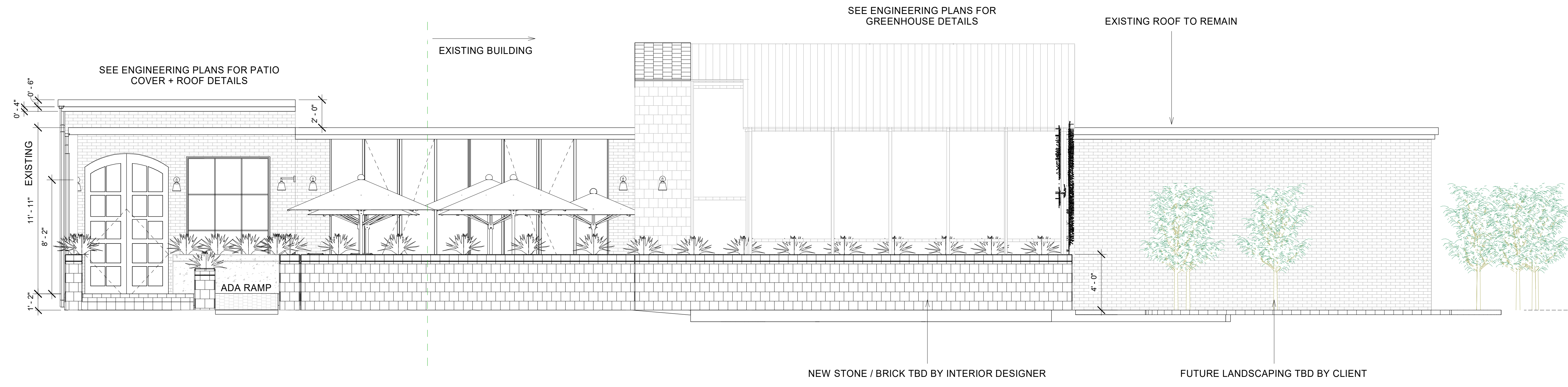
Project Number DIG.78
Date 05.09.2023
Design By DIG

A-203

Scale 1/4" = 1'-0"



1 Exterior Elevation // NORTH
1/4" = 1'-0"



2 Exterior Elevation // SOUTH
1/4" = 1'-0"



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Salt Lake City, UT 84105

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82 East 11400 South
Draper, UT / 84020

No.	Vendor	Item

BEAUMONT

**EXTERIOR
ELEVATIONS**

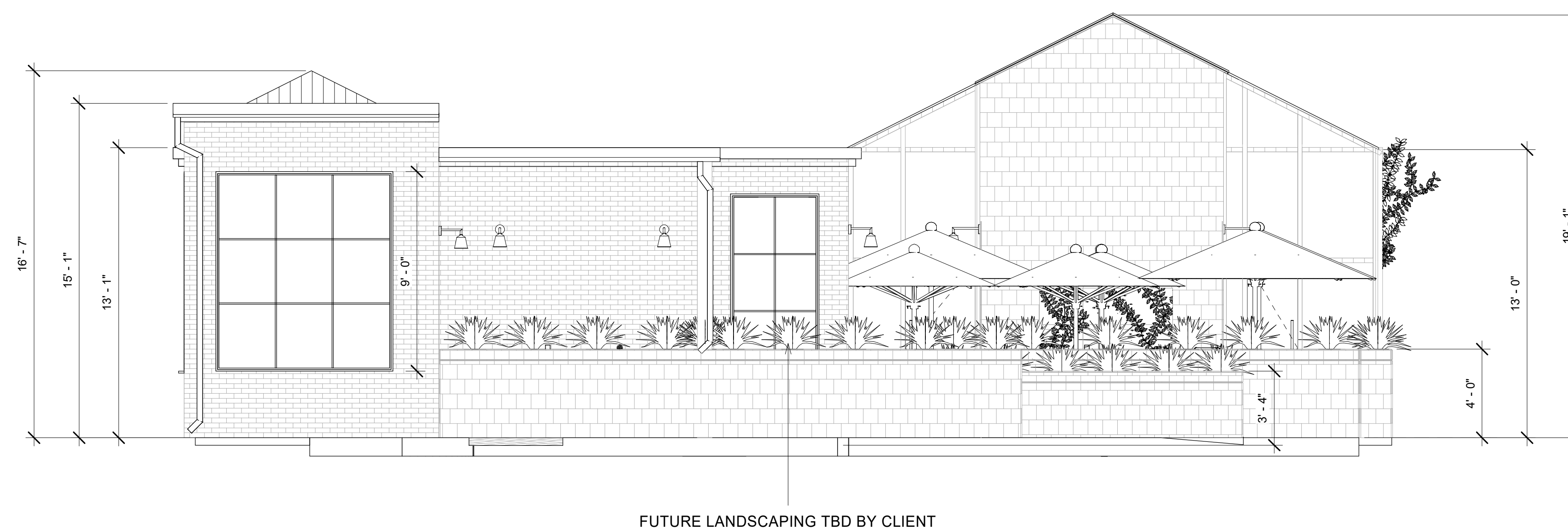
Project Number DIG.78
Date 05.09.2023
Design By DIG

A-204

Scale 1/4" = 1'-0"



① Exterior Elevation // EAST
1/4" = 1'-0"



② Exterior Elevation // WEST
1/4" = 1'-0"