



Development Review Committee

1020 East Pioneer Road
Draper, Utah 84020

STAFF REPORT

August 11, 2021

To: Jennifer Jastremsky, Zoning Administrator

Approved _____ Date _____

From: Maryann Pickering, AICP, Planner III
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: Sunset Ridge Gating — Amended Site Plan Request

Application No.: SPR-073-2021
Applicant: Richard Anderson, representing Sunset Ridge Homeowners Association
Project Location: Approximately 1195 E. Mike Weir Drive
Current Zoning: RM (Multiple Dwelling Unit Residential) and South Mountain Agreement Area
Acreage: Approximately 15.5 acres (approximately 675,180 square feet)
Request: Request for approval of an amended site plan to allow gating of the Sunset Ridge community.

SUMMARY

This application is a request for approval of an amended site plan for approximately 15.5 acres located on the west side of Mike Weir Drive, at approximately 1195 E. Mike Weir Drive (Exhibit B). The property is currently zoned RM and subject to the standards found in South Mountain Agreement Area. Therefore, the property is located in the South Mountain Development Agreement area, and is subject to the 1999 Draper City Municipal Code (1999 DCMC) and the South Mountain Design Guidelines (Guidelines). The applicant is requesting that an amended site plan be approved to allow for gating of the community at both of the entrances on Mike Weir Drive.



The 1999 DCMC doesn't have a process by ordinance that defines an approval process for an Amended Site Plan. Since this property is under the South Mountain Agreement Area that utilizes the 1999 DCMC, this will be treated as an amended site plan application.

BACKGROUND

The subdivision was recorded in 2005 and was known at that time as South Mountain 10. Construction of the units was started in 2006 and the final units were built in 2017. An amended plat was approved in 2018 which adjusted the limits of non-disturbance on the original plat.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Residential Medium-High Density land use designation for the subject property (see Exhibit C). This category is characterized as follows:

Residential Medium-High Density

LAND USE DESCRIPTION			
CHARACTERISTICS	<ul style="list-style-type: none"> • Abundant landscaping • Uniform design standards which also allow architectural variation between units • Architectural variation between units and/or buildings, designed to look like houses, not boxes • Adequate off-street parking • Avoid walls and fences, except for screening and buffering with neighboring developments 		
LAND USE MIX	<table border="0"> <tr> <td> Primary <ul style="list-style-type: none"> • Single-family homes • Patio homes • Townhouses • Multifamily housing </td> <td> Secondary <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space </td> </tr> </table>	Primary <ul style="list-style-type: none"> • Single-family homes • Patio homes • Townhouses • Multifamily housing 	Secondary <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space
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DENSITY	<ul style="list-style-type: none"> • Density range: 4-8 dwelling units per acre 		
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Single-family Residential (R4) • Single-family Residential (R5) • Master Planned Community (MPC) • Multiple-family Residential (RM1) 		
OTHER CRITERIA	<ul style="list-style-type: none"> • The Master Planned Community may be utilized • The developer must demonstrate that the project provides a quality living environment 		



The property has been assigned the RM zoning classification and is also subject to the South Mountain Development Agreement (Exhibit D). According to the 1999 DCMC Section 9-4-030, the purpose of the RM zoning classification is *“to provide areas for low-to-medium residential density with the opportunity for varied housing styles and character, providing for maximum density of up to twelve (12) units per acre for medium to high density residential unit projects subject to conditional-use permit procedures and conditions for this type of use and based on minimum development guidelines adopted by the city.”*

The property is surrounded by the OS (Open Space) zoning designation on the south, west and north. The OS zoned property is the Salt Lake County Golf Course. A small section of C-2 (Neighborhood Commercial District) zoning touches the northeast corner of the subject site. Across Mike Weir Drive is RM zoning.

Site Plan Layout. The property is approximately 15.5 acres and contains a total of 90 twin home and triplex townhouse units. All of the homes have been built at this time. When the subdivision was first considered, the intent was to have a gated community but the actual gates were never installed by the developer (Exhibit E). The current homeowner’s association has now submitted the application for the gates.

The two proposed gates will be located at the existing entrance points on Mike Weir Drive. The entrance on the eastern boundary of the development will be wider and considered at the main entrance into the subdivision (Exhibit F). The callbox for the residential units will be located at this entrance. The smaller entrance on the western boundary will be a secondary access for residents only and will not have a callbox. Residents will utilize this gate with a remote control. There are no plans to have either of the gates monitored by a guard.

The homeowner’s association will need to install two new stone fences at each entrance for the proposed gates to attach to (Exhibit G). The proposed gates are decorative wrought iron. For the eastern or larger entrance, two 16-foot wide gates will be installed. For the western or smaller entrance, two 13-foot wide gates will be installed.

Because this application is subject to the 1999 DCMC and applicable Guidelines, there are no specific requirements for the installation of the gates. Therefore, this application is not required to comply with standards and requirements of Section 9-27-200 of the current DCMC.

Criteria for Approval. The criteria for review and potential approval of a site plan amendment request is found in Section 9-16-040 of the 1999 DCMC. This section depicts the standard of review for such requests as:

The Planning Commission and the City Staff shall review the application and consider the following matters, and others when applicable.

- (a) Considerations Relating to Traffic Safety and Traffic Congestion
 - (1) The effect of the site development plan on traffic conditions abutting street and neighboring land uses, both as existing and planned.
 - (2) The layout of the site with respect to location and dimensions of vehicular and pedestrian entrances, exits, driveways and walkways.
 - (3) The agreement and adequacy of off-street parking facilities to prevent traffic congestions and compliance with the provisions of the City ordinances regarding the same.
 - (4) The location, arrangement and dimensions of truck loading and unloading facilities.
 - (5) The circulation patterns with the boundaries of the development.
 - (6) The surfacing and lighting of off-street parking facilities.
 - (7) Provision of transportation modes other than personal motor vehicles, including such alternative modes as pedestrian, bicycle and mass transit.
- (b) Consideration Relating to Outdoor Advertising.
 - (1) Compliance with the provisions of the City Sign Ordinance. Sign permit applications will be reviewed and permits issued as a separate process and actions simultaneous with or following site plan review.
- (c) Consideration Relating to Landscaping.
 - (1) The location, height, and materials of walls, fences, hedges and screen plantings to provide for harmony with adjacent development, or to conceal storage areas, utility installations or other unsightly development.
 - (2) The planting of ground cover or other surfaces to prevent dust and erosion.
 - (3) The unnecessary destruction of existing healthy trees.
 - (4) Compliance with Draper General Plan guidelines to promote consistent forms of development with the districts of the City as identified in the General Plan.
- (d) Consideration Relating to Building and Site Layout.
 - (1) Consideration of the general silhouette and mass, including location on the site and elevations, in relationship to the character of the district or neighborhood and the applicable provisions of the General Plan.
 - (2) Consideration of exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in façade facing the street, line and pitch of roofs, the arrangement of structures on the parcel, and appropriate use of materials and colors to promote the objectives

- of the General plan relating to the character of the district or neighborhood.
- (3) Compliance of project with applicable developments and Zoning Ordinance.
 - (e) Consideration Relating to Drainage and Irrigation. The effect of the site development plan and the adequacy of the storm and surface water drainage. The need for piping or irrigation ditches bordering with or within the site.
 - (f) Other Considerations Relating to Neighborhood Compatibility, including, but not limited to:
 - (1) Buffering.
 - (2) Lighting.
 - (3) Placement of trash containers and disposal facilities.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the site plan amendment submission. Comments from the Division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the site plan amendment submission. Comments from the Division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions has completed their review of the site plan amendment submission. Comments from the Division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the site plan amendment submission. Comments from the Fire Marshal, if any, can be found in Exhibit A.

Legal Review. The Draper City Attorney has completed their review of the site plan amendment submission. Comments from the Division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the 1999 DCMC and recommends that the Zoning Administrator review the request and make a decision based on the findings listed below and the criteria for approval, or denial, as listed within the staff report.

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. All proposed fencing and posts for fencings shall be placed outside of the sight triangle. Please adjust plans accordingly.
4. Landscaping within the clear view triangle and site triangle are required to meet the maximum height standards and may need to be modified from existing conditions to meet requirement. Existing trees may require trimming to remove lower branches and ensure visibility is maintained.

The findings for approval are as follows:

1. The proposed development plans meet the requirements and provisions of the Section 9-16-040 of the 1999 DCMC.
2. The proposed development plans meet the requirements of the South Mountain Development Agreement and the South Mountain Design Guidelines.
3. The public services in the area are adequate to support the subject development.

The findings for denial are as follows:

1. The proposed development plans do not meet the requirements and provisions of the Section 9-16-040 of the 1999 DCMC.
2. The proposed development plans do not meet the requirements of the South Mountain Development Agreement and the South Mountain Design Guidelines.
3. The public services in the area are not adequate to support the subject development.

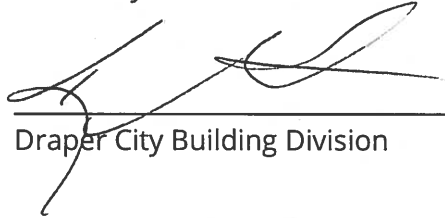
DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: cn=Brien Maxfield, o=Draper City, ou=PW
Engineering,
email=brien.maxfield@draperutah.gov, c=US
Date: 2021.08.12 09:06:40 -06'00'

Draper City Public Works Division



Draper City Building Division

 8/12/21
Draper City Fire Department

Jennifer Jastremsky

Digitally signed by Jennifer Jastremsky
DN: cn=US, E=jennifer.jastremsky@draperutah.gov,
O=Planning Division, OU=Draper City, CN=Jennifer
Jastremsky
Date: 2021.08.12 09:18:14 -06'00'

Draper City Planning Division

Mike Barker

Digitally signed by Mike Barker
Date: 2021.08.12 10:26:13
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Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

No additional comments provided.

Building Division Review.

No additional comments provided.

Engineering and Public Works Divisions Review.

1. All proposed fencing and posts for fencings shall be placed outside of the sight triangle. Please adjust plans accordingly.
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Fire Division Review.

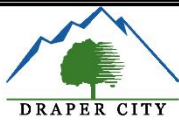
1. Fire Department Access is required. An unobstructed minimum road width of 26 feet exclusive of the shoulders and a minimum height of 13'6" inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of 28 feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
2. This Project does not fall under the Draper Gate Ordinance as it falls under the 1999 DCMC. If there is to be a gated entrance to the private drive it should be able to meet the fire department access requirements. Gates should be a minimum width of 12 feet wide on each side of gate width. A fire department lock box would be required to house emergency access device for emergency vehicles and must meet the City Ordinance for gates to be approved by the Fire Department and Police Department.
3. D103.5 Fire apparatus access road gates. Gates securing the fire apparatus access roads shall comply with all of the following criteria:
 - A. Where a single gate is provided, the gate width shall be not less than 20 feet (6096 mm).
 - B. Where a fire apparatus road consists of a divided roadway, the gate width shall be not less than 12 feet (3658 mm).
 - C. Gates shall be of the swinging or sliding type.

- D. Construction of gates shall be of materials that allow manual operation by one person.
 - E. Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
 - F. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official. The Draper City Fire Department requires a siren type opener with a Knoxbox or Knox Switch backup and gate should fault open at time of power outage.
 - G. Methods of locking shall be submitted for approval by the fire code official.
 - H. Electric gate operators, where provided, shall be listed in accordance with UL 325.
 - I. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F2200.
 - (1) Gates are sometimes required by the fire code official to limit access to certain hazardous fire areas. They are also often used as a security mechanism for gated communities and complexes. Section 503 of the International Fire Code discusses the use of gates in more general terms whereas this section provides more specific guidelines. The nine requirements stated here all must be complied with where applicable. They focus on maintaining the required width, ease of use and ability to open in an emergency. The construction and installation of gates and methods for opening the gates, whether by manual means or by a listed electrical mechanism, must comply with the referenced standards and be approved by the fire code official. This ensures that the operating procedures of the fire department are taken into account. See the commentary to Sections 503.5 and 503.6 for further information on gates.
4. Knox Box or Knox Switch Required. Fire Department "Knox Brand" lock box to be mounted to a keypad post or gate post, at a height of five feet to the top of the box. Lock box purchase can be arranged by the General Contractor. This can be ordered by going to www.knoxbox.com
 5. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
 6. Street Signs required and are to be posted and legible prior to building permits being issued. All lots to have address posted and legible.

Legal Review.

No additional comments provided.

**EXHIBIT B
AERIAL MAP**



**Sunset Ridge Gating
1195 E. Mike Weir Drive**

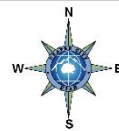
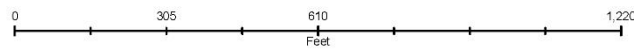
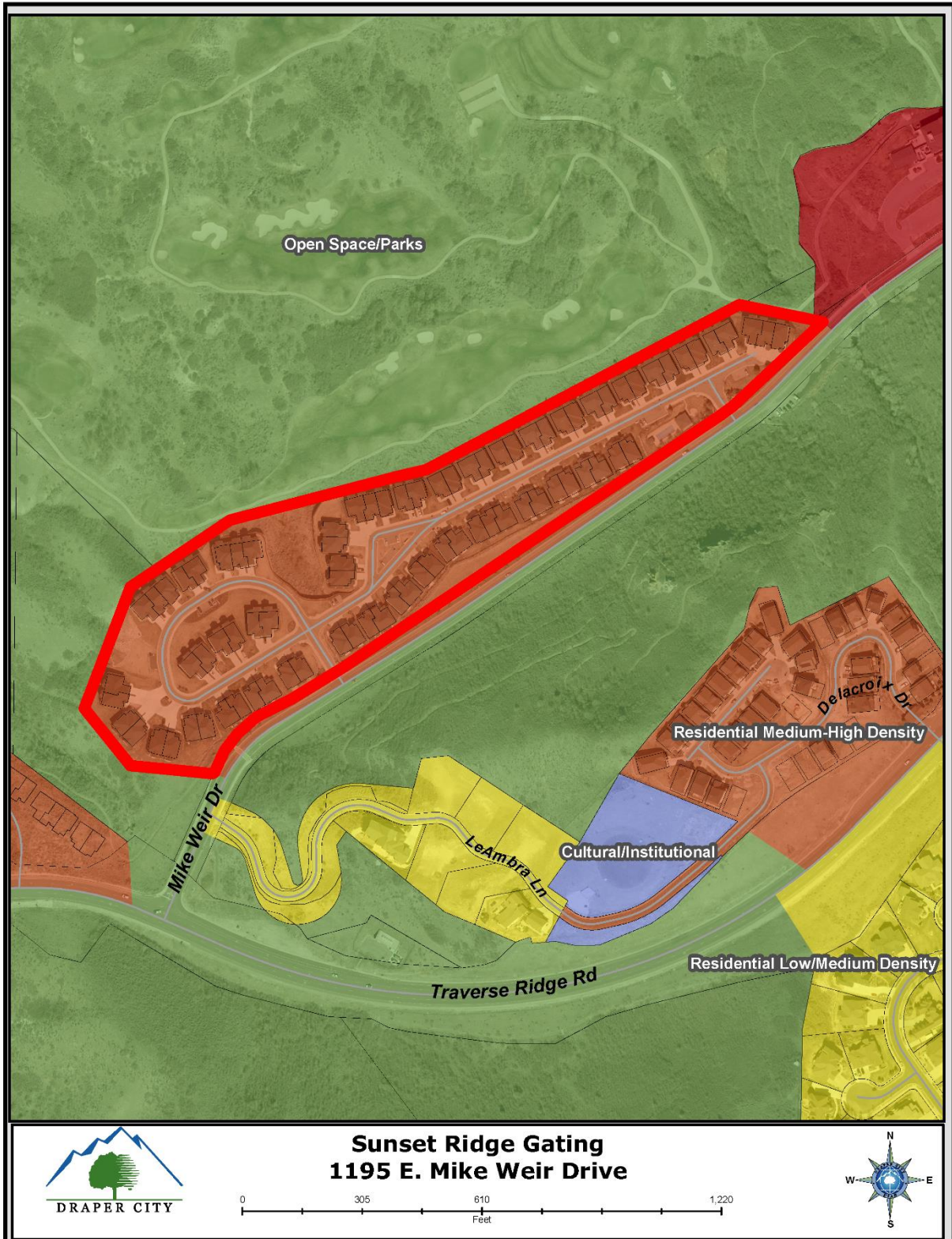
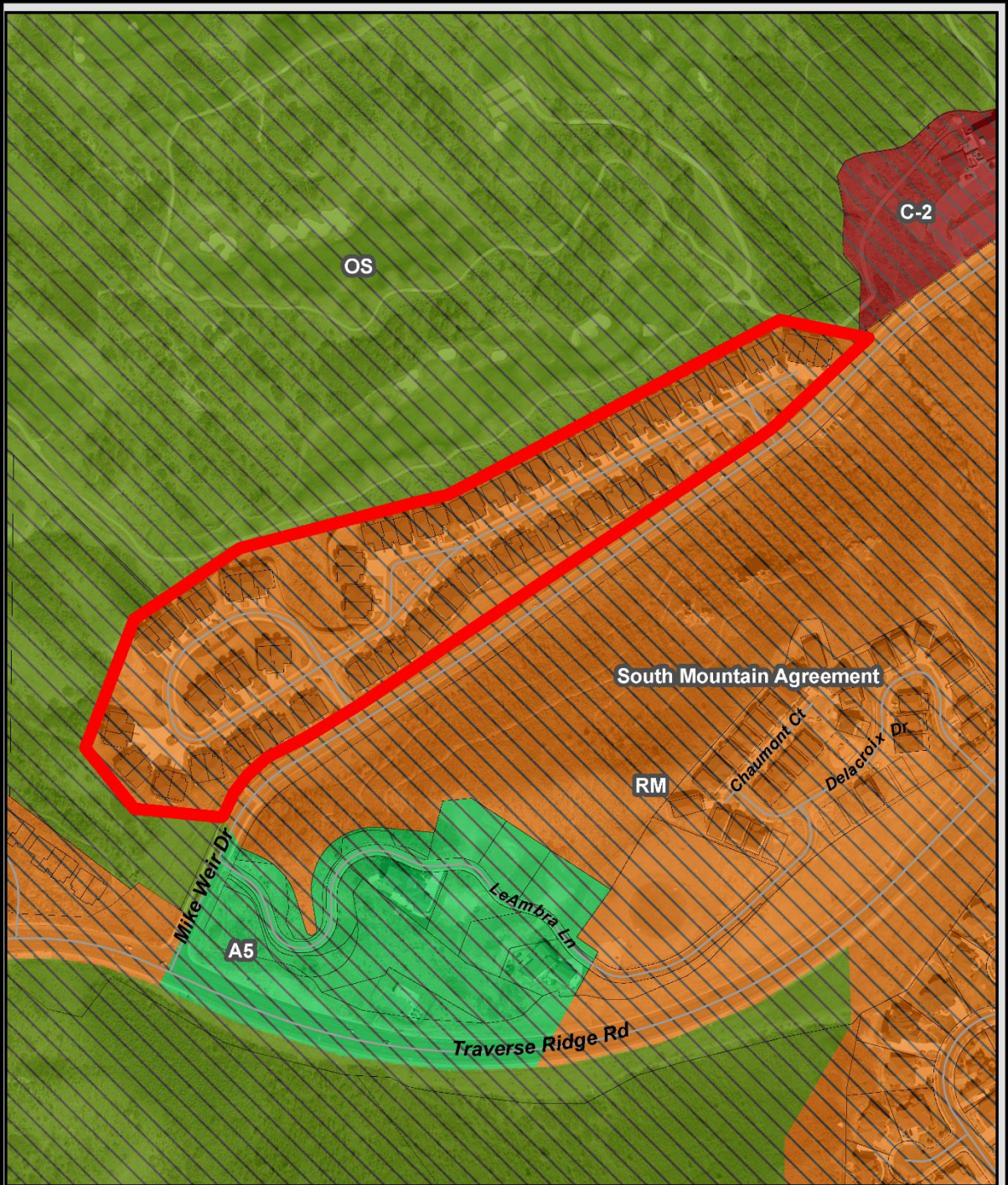



EXHIBIT C LAND USE MAP



**EXHIBIT D
ZONING MAP**



 **Sunset Ridge Gating**
1195 E. Mike Weir Drive

0 305 610 1,220
Feet

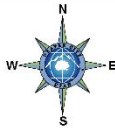


EXHIBIT E
ORIGINAL PHASE 10 LAYOUT

SOUTH MOUNTAIN SUBDIVISION PHASE 10 BUILD OUT PLAN



EXISTING
SOUTH MOUNTAIN
GOLF COURSE

LEGEND

- STREET SEGMENTS WITH UP TO 14% GRADE
- STREET SEGMENTS WITH REDUCED INTERSECTION APPROACH LENGTH
- ANTICIPATED MASS GRADE AREA

PLAN LEGEND AND TABULATION SUMMARY

TOPOGRAPHY PROVIDED BY AERO GRAPHICS 1996

SLOPES : 30% - 40%

40% >

- EXISTING TREES
- EXISTING DIRT TRAILS & ROADS
- PHASE BOUNDARY LINE
- LIMITS OF DISTURBANCE
- MAXIMUM BUILDING ENVELOPE

PHASE BOUNDARY ACREAGE :	17.1
DISTURBANCE BOUNDARY ACREAGE:	16.3
30%+ SLOPE AREA DISTURBED WITHIN PHASE BOUNDARY:	0.00
NUMBER OF UNITS :	150



SOUTH MOUNTAIN DEVELOPMENT STANDARDS

- 1) This phase may have up to 150 units.
- 2) The phase development area is approximately 16.0 acres.
- 3) The entire phase may be graded, excluding areas within the "Limits Of Disturbance" shown on the Build Out Plan, as development of this phase progresses in stages.
- 4) All internal streets shall be private and maintained by a Home Owners Association acceptable to Draper City.
- 5) A Home Owners Association shall be created to govern its internal affairs and enforce its specific CC&R's, acceptable to Draper City.
- 6) This phase will utilize "Private Local" streets with a right of way width of 32 feet as defined under Street Standards.
- 7) Road segments at intersections indicated on the Build Out Plan as "A" and "B" will have reduced vertical approach transition lengths.
- 8) Street curves may have reduced horizontal radii of not less than 100 feet.
- 9) Street design may have a reduced design speed of 20 mph in conjunction with reduced posted speed limits and traffic calming design elements pursuant to "State Of The Art For Traffic Calming" published by ITE.
- 10) This phase is intended to be developed as Condominiums (attached townhomes) according to the Condominium Act of the State Of Utah. As such, minimum "Lot Area," "Building Envelope" area, "Lot Frontage," and "Lot Width" do not apply.
- 11) The minimum "Building Setbacks" shall be no less than as follows:

any portion of building from public street	20 feet
any portion of building from phase boundary line	20 feet
front yard from private streets	
to front porch	12 feet
to main building line	15 feet
to garage	20 feet
to side of building on corner lots	15 feet
separation between buildings	per Uniform Fire Code
- 12) No building shall be more than 2.5 stories in height.

REC
JAN - 4 2000
CITY OF DRAPER

EXHIBIT F
DETAILED GATE PLANS

SUNSET RIDGE AT SOUTH MOUNTAIN SUBD. PHASE 1 - HOA EAST GATE

1188 Sunset Dunes Ways, Draper, Salt Lake County, Utah

Located in the East half of Section 8, Township 4 South, Range 1 East, Salt Lake Base and Meridian

SITE INFORMATION:
Sunset Ridge at South Mountain Subd. Phase 1
1188 Sunset Dunes Way, Draper, UT

OWNER / DEVELOPER:
Sunset Ridge at South Mountain HOA

SURVEYOR, ENGINEER, PLANNER:
A.L.M. & Associates, Inc.
2230 North University Parkway, Suite 6D
Provo, UT 84604
(801) 374-6262 (801) 374-0085 FAX
MGreenwood@ALMonline.com

ARCHITECT:

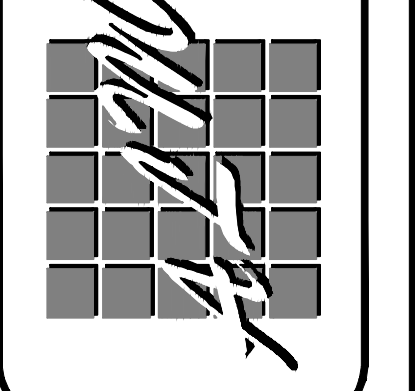
NOTES:
1. INSTALL "NO PARKING" SIGNS ALONG INTERIOR STREETS. VISITOR PARKING ONLY IN PROVIDED PARKING STALLS.

SHEET INDEX:

C1.0 SITE PLAN - EAST GATE
C2.0 SITE PLAN - WEST GATE
C3.0 SIGHT DISTANCE PLAN



A.L.M. & Associates, Inc.
Engineering · Surveying · Development · Planning
2230 North University Parkway, Building 6D, Provo, Utah 84604 ph: (801) 374-6262



SUNSET RIDGE AT SOUTH MOUNTAIN SUBD. PHASE 1
SUNSET RIDGE AT SOUTH MOUNTAIN HOA
SITE PLAN - EAST GATE

No.	Revision	Date

C1.0
OF SHEETS
Proj # 952-2111

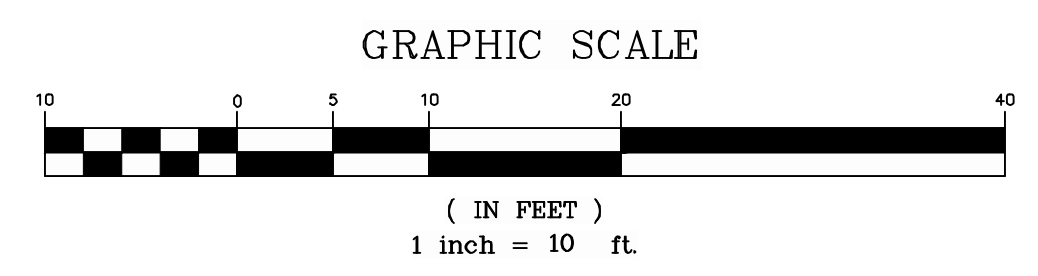
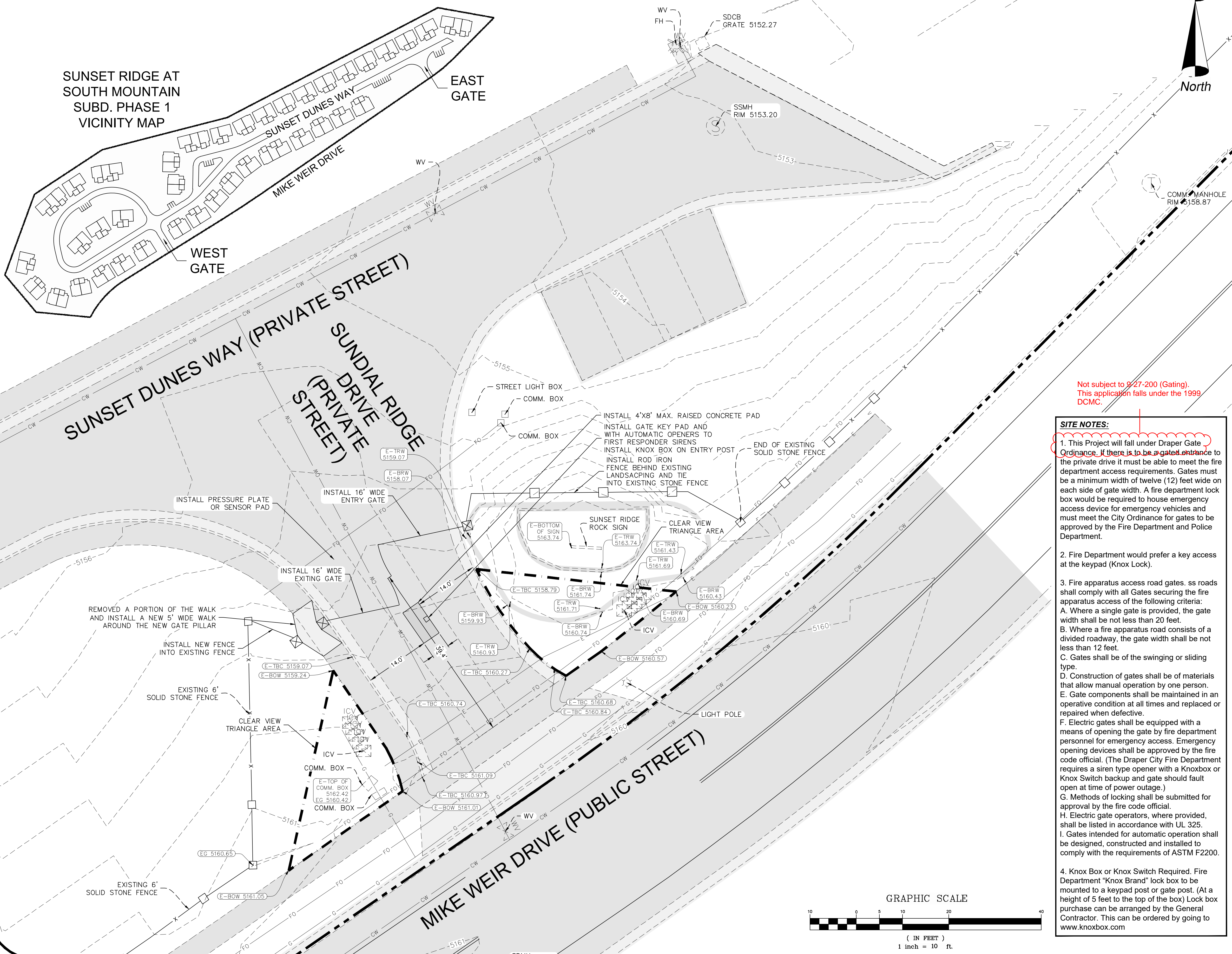
SITE PLAN SYMBOL LEGEND

	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	ELECTRICAL LINE
	COMMUNICATION LINE
	GAS LINE
	EXISTING FEATURES
	PROPOSED FEATURES
	IRRIGATION CONTROL VALVE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	SEWER MANHOLE
	CURB INLET BOX
	SD MANHOLE OR SUMP
	SD CATCH BASIN BOX
	LIGHT POLE
	BACK OF WALK
	EX. BOTTOM OF ROCK WALL
	EX. TOP OF ROCK WALL
	EXISTING GROUND
	FINISH GRADE
	LIP OF GUTTER
	TOP OF ASPHALT
	TOP BACK OF CURB
	TOP OF CONCRETE

SITE NOTES:

- This Project will fall under Draper Gate Ordinance. If there is to be a gated entrance to the private drive it must be able to meet the fire department access requirements. Gates must be a minimum width of twelve (12) feet wide on each side of gate width. A fire department lock box would be required to house emergency access device for emergency vehicles and must meet the City Ordinance for gates to be approved by the Fire Department and Police Department.
- Fire Department would prefer a key access at the keypad (Knox Lock).
- Fire apparatus access road gates, as roads shall comply with all Gates securing the fire apparatus access of the following criteria:
 - Where a single gate is provided, the gate width shall be not less than 20 feet.
 - Where a fire apparatus road consists of a divided roadway, the gate width shall be not less than 12 feet.
 - Gates shall be of the swinging or sliding type.
 - Construction of gates shall be of materials that allow manual operation by one person.
 - Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
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Not subject to 9-27-200 (Gating).
This application falls under the 1999 DCMC.



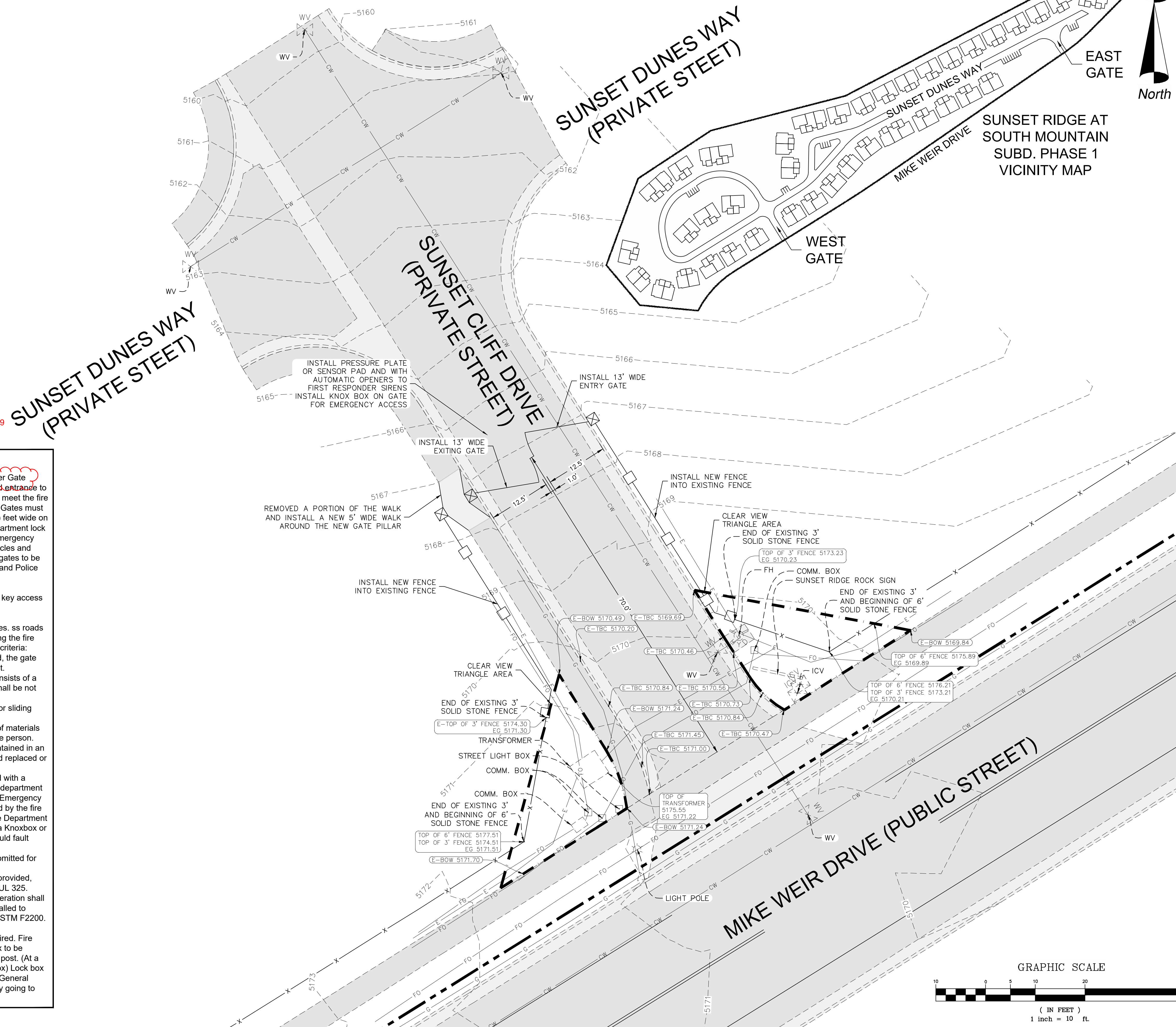
CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.

BLUE STAKES OF UTAH
Utility Notification Center, Inc
1-800-662-4111
www.bluestakes.org
Dig Safely. Know what's below before you dig.

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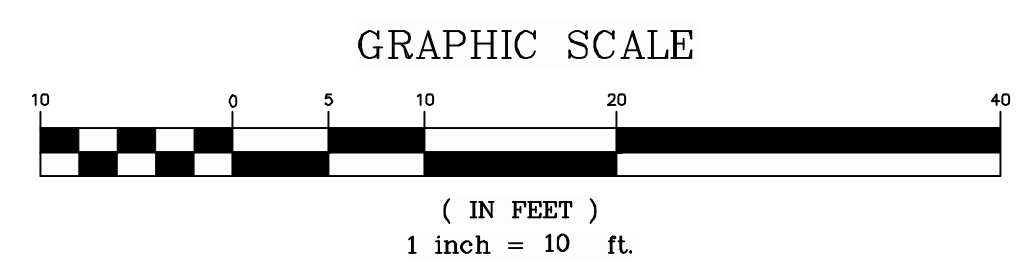
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SITE PLAN SYMBOL LEGEND

	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	ELECTRICAL LINE
	COMMUNICATION LINE
	GAS LINE
	EXISTING FEATURES
	PROPOSED FEATURES
	IRRIGATION CONTROL VALVE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	SEWER MANHOLE
	CURB INLET BOX
	SD MANHOLE OR SUMP
	SD CATCH BASIN BOX
	LIGHT POLE
	BACK OF WALK
	EX. BOTTOM OF ROCK WALL
	EX. TOP OF ROCK WALL
	EXISTING GROUND
	FINISH GRADE
	LIP OF GUTTER
	TOP OF ASPHALT
	TOP BACK OF CURB
	TOP OF CONCRETE

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SUNSET RIDGE AT SOUTH MOUNTAIN SUBD. PHASE 1
SUNSET RIDGE AT SOUTH MOUNTAIN HOA
SITE PLAN - WEST GATE

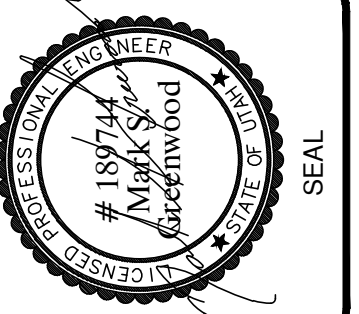
No.	Revision	Date
1	SD	8/22/18

C2.0
OF SHEETS
Proj # 952 - 2111

SUNSET RIDGE AT SOUTH MOUNTAIN SUBD. PHASE 1 - SIGHT DISTANCE

1188 Sunset Dunes Ways, Draper, Salt Lake County, Utah

Located in the East half of Section 8, Township 4 South, Range 1 East, Salt Lake Base and Meridian

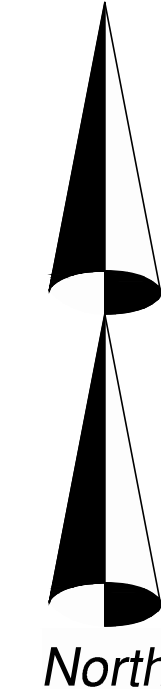


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SUNSET RIDGE AT SOUTH MOUNTAIN SUBD. PHASE 1
 SUNSET RIDGE AT SOUTH MOUNTAIN HOA
 SIGHT DISTANCE PLAN

1	SD	8/22/18
No.	Revision	Date

C1.0
 OF SHEETS
 Proj # 952-2111



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Table 9-7. Design Intersection Sight Distance—Case B1, Left Turn from Stop

U.S. Customary				Metric			
Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars (ft)	Design (ft)	Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars (m)	Design (m)
15	80	165.4	170	20	20	41.7	45
20	115	220.5	225	30	35	62.6	65
25	155	275.6	280	40	50	83.4	85
30	200	330.8	335	50	65	104.3	105
35	250	385.9	390	60	85	125.1	130
40	305	441.0	445	70	105	146.0	150
45	360	496.1	500	80	130	166.8	170
50	425	551.3	555	90	160	187.7	190
55	495	606.4	610	100	185	208.5	210
60	570	661.5	665	110	220	229.4	230
65	645	716.6	720	120	250	250.2	255
70	730	771.8	775	130	285	271.1	275
75	820	826.9	830				
80	910	882.0	885				

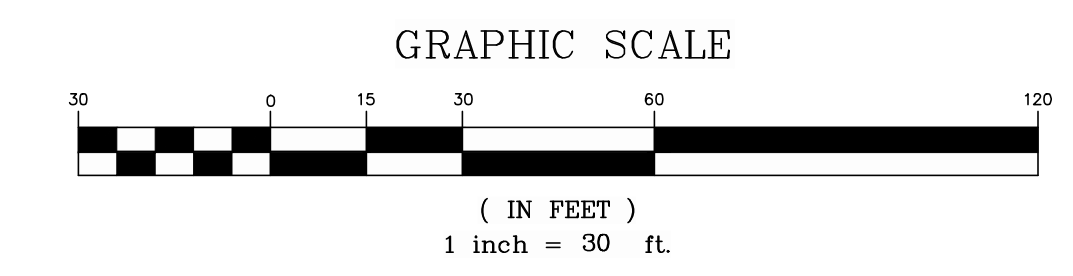
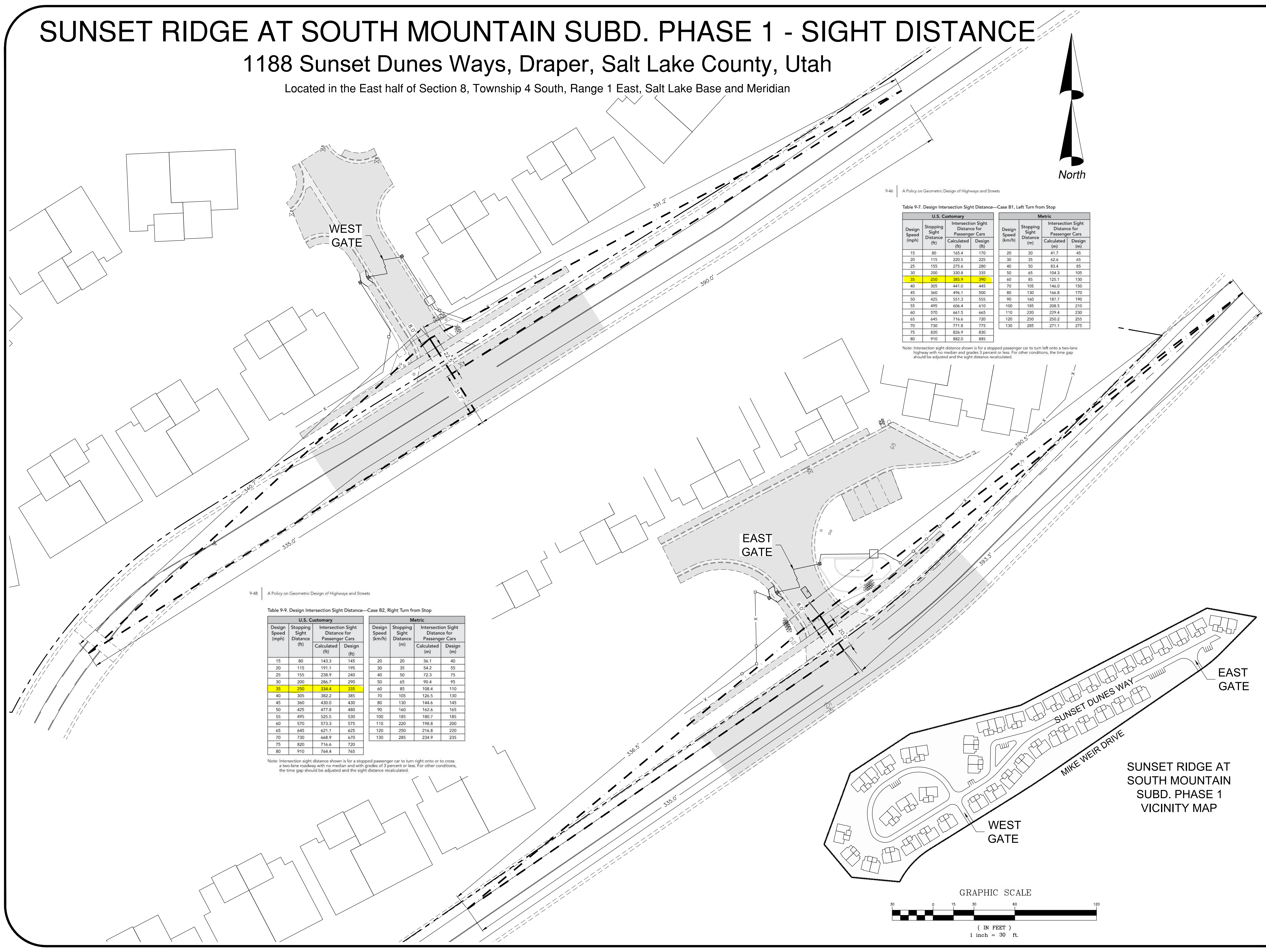
Note: Intersection sight distance shown is for a stopped passenger car to turn left onto a two-lane highway with no median and grades 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.

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Table 9-9. Design Intersection Sight Distance—Case B2, Right Turn from Stop

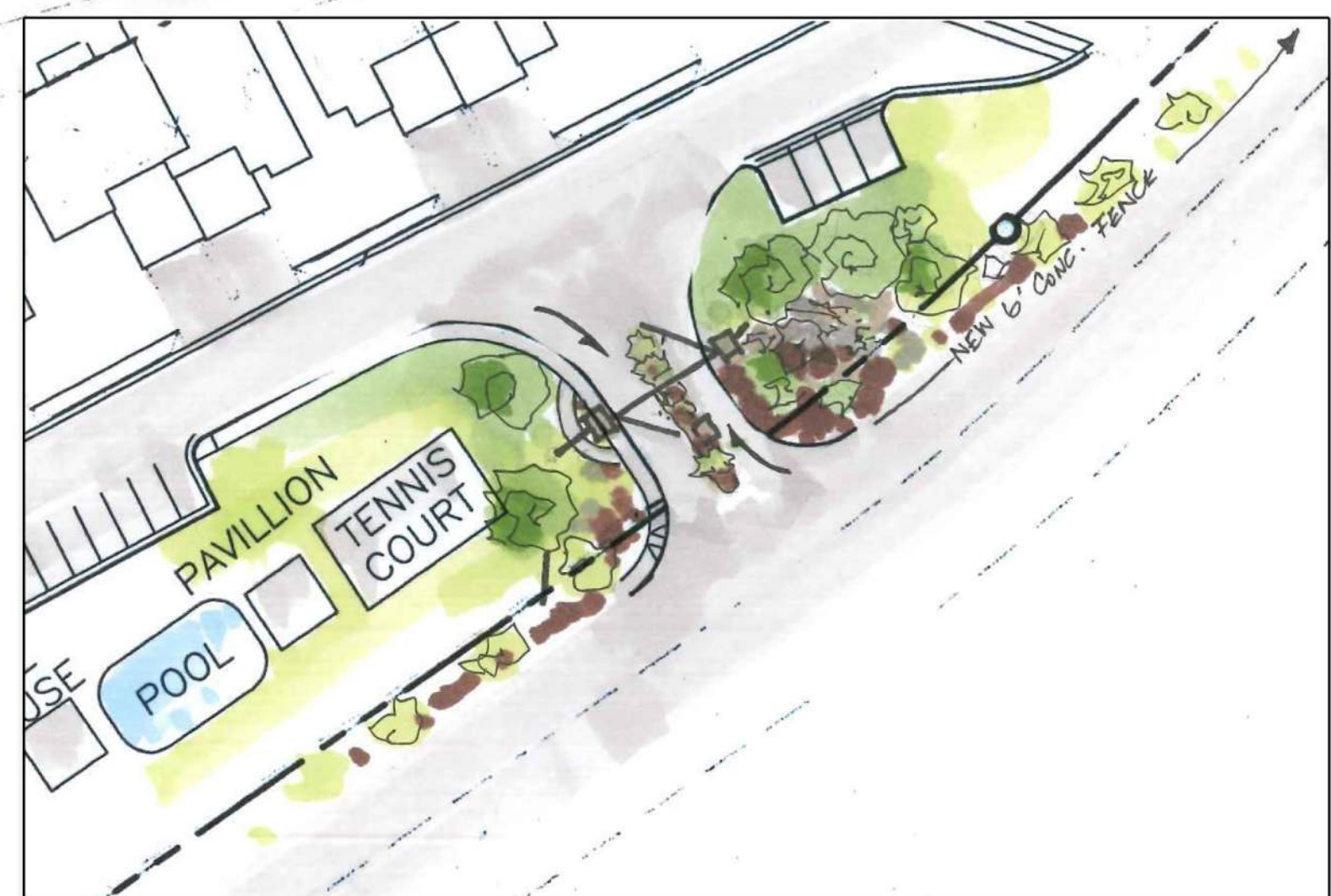
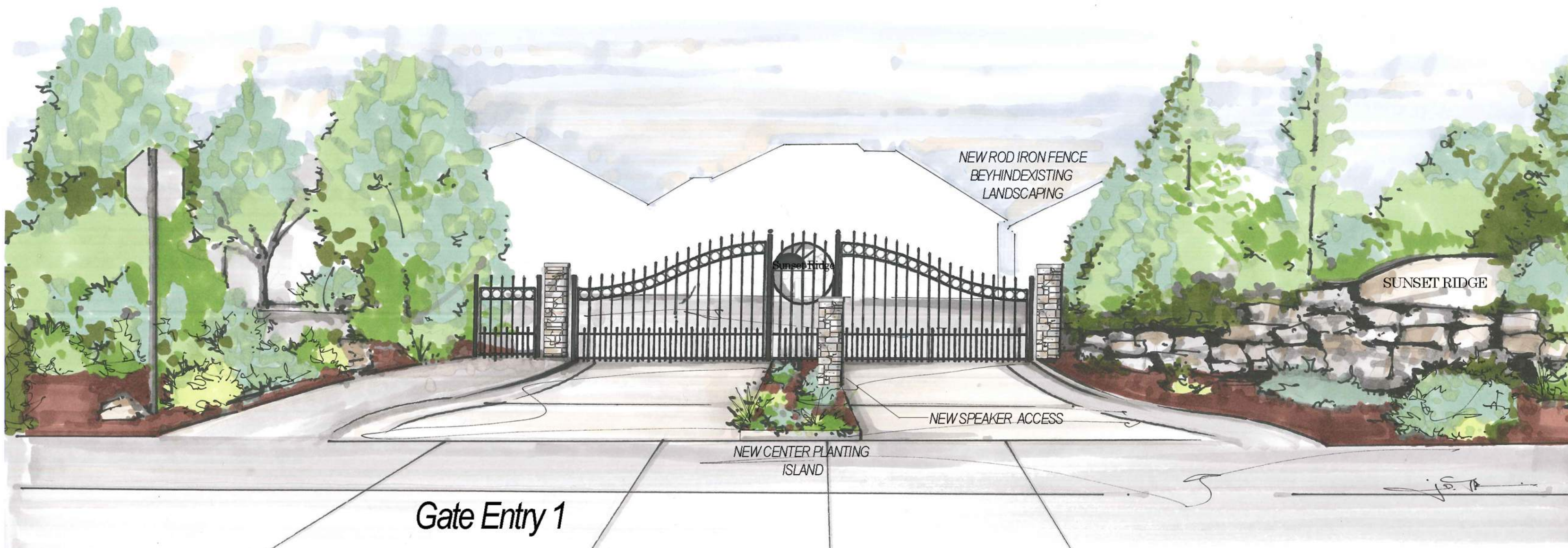
U.S. Customary				Metric			
Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars (ft)	Design (ft)	Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars (m)	Design (m)
15	80	143.3	145	20	20	36.1	40
20	115	191.1	195	30	35	54.2	55
25	155	238.9	240	40	50	72.3	75
30	200	286.7	290	50	65	90.4	95
35	250	334.4	335	60	85	108.4	110
40	305	382.2	385	70	105	126.5	130
45	360	430.0	430	80	130	144.6	145
50	425	477.8	480	90	160	162.6	165
55	495	525.5	530	100	185	180.7	185
60	570	573.3	575	110	220	198.8	200
65	645	621.1	625	120	250	216.8	220
70	730	668.9	670	130	285	234.9	235
75	820	716.6	720				
80	910	764.4	765				

Note: Intersection sight distance shown is for a stopped passenger car to turn right onto or to cross a two-lane roadway with no median and with grades of 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.



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**EXHIBIT G
ELEVATIONS**



Gate Entry 1

Gate Entry 2

SUNSET RIDGE SUBDIVISION

DRAPER UTAH