

Development Review Committee

1020 East Pioneer Road Draper, UT 84020

STAFF REPORT

February 5, 2021

To:	Jennifer Jastremsky, Zoning Administra		
	Approved	Date	

From: Travis Van Ekelenburg, Planner II

801-576-6522, travis.vanekelenburg@draperutah.gov

Re: T-Mobile Antenna-Permitted Use Permit Request

Application No.: USE-1118-2020

Applicant: Declan Murphy, representing T-Mobile Wireless

Project Location: Approximately 250 W 12300 S

Current Zoning: CBP (Business/Manufacturing Park) Zone

Acreage: Approximately 6.49 Acres (Approximately 282,704 ft²)

Request: Request for approval of a Permitted Use Permit in the CBP zone regarding

an existing wireless facility equipment upgrade for the existing SL03000A

Wireless Facility.

SUMMARY AND BACKGROUND

The subject property is part of the Lone Peak Business Park that was created in the year 2000 and amended in 2009. This application is a request for approval of a Permitted Use Permit for approximately 6.49 acres located on the north side of 12300 S, at approximately 250 W 12300 S (Exhibit B). Specifically the applicant is requesting that a Permitted Use Permit be approved to allow for an equipment upgrade on an existing rooftop Wireless Facility. The property is currently zoned CBP. The property is owned by Price Lone Peak West LLC; and is currently used as a warehouse.

To keep up with the changes in wireless communication technology, T-Mobile is upgrading many of its facilities throughout the valley. The current application pertains to the existing Wireless Facility known as SL03000A. This is a roof-top facility that is mounted to the building's roof-top HVAC equipment that is screened from view and is not visible from ground level.

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ANALYSIS

<u>General Plan and Zoning</u>. The Land Use Map of the General Plan calls for the Commercial Special District land use designation for the subject property (Exhibit C). This category is characterized as follows:

Commercial Special District

LAND USE DESCRIPTION				
CHARACTERISTICS	 Include a wide range of commercial uses that are destination oriented and draw from a regional customer base Compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components Limited traffic access points Development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses Uniform design standards and aesthetics Access to individual properties should be provided only from frontage roads or major arterials Common off-street traffic circulation and parking areas 			
LAND USE MIX	 Large-scale master-planned commercial centers Big box centers Corporate headquarters Multi-story upscale office buildings Multi-story upscale residential buildings 			
COMPATIBLE ZONING	 Adopted Commercial Special District zone Adopted Major Freeway Arterial Frontage Road zone 			
LOCATION	 Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas Excellent transportation access to major highways 			
	 High visibility from the I-15 corridor 			
	 Proximity to both Salt Lake and Utah Counties 			
	 Provide adequate buffers in the form of setbacks, open space, low impact industrial uses, barriers, etc. adjacent to existing residential areas 			
	 Major streets serving these areas should accommodate truck traffic 			

The property has been assigned the CBP zoning classification (Exhibit D). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CBP zone is "to provide aesthetically attractive planned developments having a mix of office, research and development, light manufacturing, and limited retail uses. Typical uses in this zone include offices, clean indoor manufacturing facilities, service retail, restaurants, athletic clubs, personal service shops, medical offices, office/warehouse buildings, and research facilities." The CBP zoning surrounds the subject property.

<u>Requested Modification</u>. This request is an equipment upgrade and there will be no change to the facility's approved use as a wireless facility. This facility is on the roof portion of the building and will be an upgrade for better wireless and data coverage. The proposed antennas will mount in the same location for the three antenna sectors that are required for cellular communication. Each of the three sectors will have three antennas as a total configuration. The original height the antennas are set at is 7-feet. The height of the new antennas will still meet ordinance maximums at 10-feet in total height. A new mount will be required to hold the additional two antennas to include the existing antenna that will not be removed for the final antenna configuration of three per sector. The additional equipment change proposed will not be a noticeable difference after installation as the components are similar in size and function as the components they are replacing. The proposal consists of the following changes:

- Remove existing AC breaker
- Remove 3 antennas, 1 per sector
- Remove 6 radio modules, 2 per sector
- Relocate 1 antenna
- Relocate 2 radio modules
- Add new AC breaker
- Add 2 inch conduit for power line
- Add 2 new equipment cabinets
- Add 3 hybrid cables
- Add mounts for structural
- Add 6 antennas, 2 per sector
- Add 6 radio modules, 2 per sector

<u>Criteria For Approval</u>. The criteria for review and potential approval of a Permitted Use Permit request is found in Sections 9-5-070(E) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

<u>Criteria For Approval</u>. The criteria for review and potential approval of a Permitted Use Permit request is found in Sections 9-5-070(E) of the DCMC. This section depicts the standard of review for such requests as:

- E. Approval Standards: The following standards shall apply to the issuance of a permitted use permit. A permitted use shall:
 - 1. Be allowed as a permitted use in the applicable zone;
 - 2. Conform to development standards of the applicable zone;
 - 3. Conform to applicable regulations of general applicability and regulations for specific uses set forth in this title;
 - 4. Not be located on any land classified as a primary or secondary conservation area or sensitive land area, except as expressly permitted by provisions of this title;
 - 5. Not be located in any protected area as shown on a natural resource inventory; and
 - 6. Conform to any other applicable requirements of this code.

The criteria for review and potential approval of a Wireless Telecommunications Facilities request is found in Sections 9-41-050(I) of the DCMC. This section depicts the standard of review for such requests as:

<u>DCMC Section 9-41-050 (I):</u> I. Facilities Located In Commercial Zones: The facilities set forth below shall be permitted uses in commercial and industrial zones so long as they



meet the requirements of this subsection and are not located on otherwise vacant property:

- 1. Hidden antennas.
- 2. Stealth design antennas.
- 3. Flush mounted wall antennas.
- 4. Roof mounted antennas that are:
- a. Completely enclosed from view within an architecturally compatible screen approved by staff.
- b. Set back at least ten feet (10') from exterior walls of the building on nonparapet wall buildings, or ten feet (10') from the parapet wall on parapet wall buildings.

REVIEWS

<u>Planning Division Review</u>. The Draper City Planning Division has completed their review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

<u>Engineering and Public Works Divisions Review</u>. The Draper City Engineering and Public Works Divisions have completed their reviews of the Permitted Use Permit submission. Comments from these divisions, if any, can be found in Exhibit A.

<u>Fire Division Review</u>. The Draper City Fire Marshal has completed his review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

Conditions of approval:

- 1. The applicant shall obtain all applicable permits from Draper City, Fire Division and the Building Division for this upgrade.
- 2. Per DCMC Section 9-5-070(J) A Permitted Use shall expire if not exercised within one hundred eighty (180) days of issuance.

The findings for approval as are follows:

- 2. That the proposed changes will have no perceptible visual impact.
- 3. That the proposed changes are compliant with Section 9-5-070(E) of the DCMC.
- 4. That the proposed changes are compliant with Section 9-41-050(I) of the DCMC.



DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield Digitally signed by Brien Maxfield DN: cn=Brien Maxfield, o=Draper City, ou, email-brien.maxfield@draper.ut.us, c=US Date: 2021.02.1016:53:34-0700'

Draper City Public Works Department

Don Buckley

Digitally signed by Don Buckley

DN: C=US, E=don.buckley@draper.ut.us,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2021.02.10 17:02:12-07:00'

Draper City Fire Department

Matthew T. Symes DN: C-US, E-Matt.symes@draper.ut.us, O-Draper City, CN-Matthew T. Symes Date: 2021.02.11 05:05-42-07:00

Draper City Building Division

Jennifer Jastremsky

Digitally signed by Jennifer Jastremsky

DN G-US, E-jennifer jastremsky@ciraper.tut.us,
G-Omper Cay Planning, CH-Jennifer Jastremsky
Date: 3021.02.11 10:11:28-07:007

Draper City Planning Division

Mike Barker

Digitally signed by Mike Barker

DN: cn-Mike Barker, o-Draper City, ou-City

Attorney, email=mike.barker@draper.ut.us,

cts

Date: 2021.02.11 09:02:25-07:00'

Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No comments.

Engineering and Public Works Divisions Review.

1. No comments.

Fire Division Review.

- 1. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed on every level of the home. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.
- 2. Fire Department Access is required to be maintained. Vehicles cannot park in such a way to impede fire department or emergency vehicle access.
- 3. Hazardous Material Permit A Draper City Fire Hazardous Material Permit may need to be obtained. This is for all new and existing installations.

Notes:

Plan approval or review shall not be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property caused by defects, fire, improper installation, or other emergency conditions that occur in or on the building property shall not hold the Draper City Fire Department as assuming any liability.

EXHIBIT B AERIAL MAP



EXHIBIT C LAND USE MAP

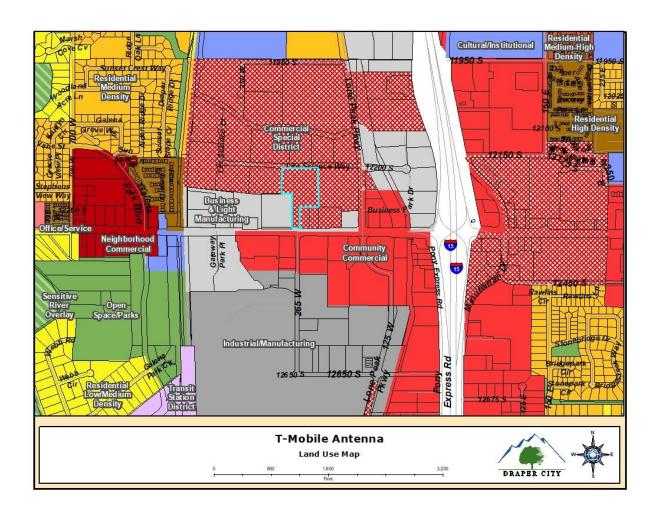


EXHIBIT D ZONING MAP

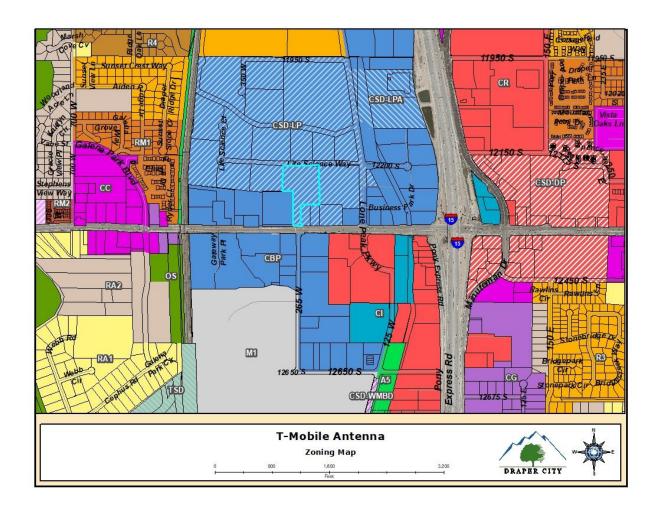


EXHIBIT E DRAWINGS

- Mobile[®]-

SITE #: SL03000A

SITE NAME: DRAPER SWITCH

STATE: UTAH

COUNTY: SALT LAKE COUNTY

DESIGN TYPE: ANCHOR

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.
NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CODE COMPLIANCE:

2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2017 NATIONAL ELECTRICAL CODE/NFPA-70

ACCESSIBILITY REQUIREMENTS:

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE CURRENT INTERNATIONAL BUILDING CODE.

ENGINEERS NOTES:

- 1. IF A DISCREPANCY ARISES BETWEEN THE DRAWINGS AND FIELD CONDITIONS, OR WHERE A DETAIL IS DOUBTFUL OF INTERPRETATION, OR AN UNANTICIPATED FIELD CONDITION IS ENCOUNTERED, THE ENGINEER SHALL BE CALLED IMMEDIATELY FOR PROCEDURE TO BE FOLLOWED. SUCH INSTRUCTIONS SHALL BE CONFIRMED IN WRITING AND DISTRIBUTED TO ALL AFFECTED PARTIES.
- 2. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS, OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DRAWING AND/OR
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER LAYOUT OF IMPROVEMENTS BASED IN SETBACKS/ PROPERTY LINE LOCATION. DIMENSIONAL RELATIONSHIPS TO EQUIPMENT ARE ROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSES ONLY.
- 5. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM EQUIPMENT.
- 6. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR AND ENGINEER OF RECORD.
- 7. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CABRIENT THE ACTUAL ROUTING WITH THE CONTRACTOR. ROUTING OF TRENCHING SHALL BE APPROVED BY CONTRACTOR

UTILITY NOTES:

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUESTAKE AT LEAST TWO FULL WORKING DAYS (48 HOURS) PRIOR TO BEGINNING OF ANY EXCAVATING.
- 2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL STRUCTURES, UNDERGROUND PIPELINES, ELECTRIC AND TELEPHONE CONDUITS, EITHER SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY CONSTRUCTION, AND TO OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO THESE FACILITIES. THE ERNINEERING AND/OR DEVELOPER WILL NOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
- 3. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL UTILITY CONNECTIONS.

PROJECT SUMMARY

SITE ADDRESS: 268 W 12300 DRAPER, UTAH 84020

PRICE LONE PEAK WEST LLC 250 W 12300 S DRAPER, UT 84020

PARCEL ID: 27254010150000 ZONING CLASSIFICATION: CBP

JURISDICTION:

DRAPER CITY 40.5287570 LAT: LONG: -111.89937500

PROJECT DESCRIPTION

T-MOBILE PROPOSES TO:

REMOVE EXISTING AC BREAKER IN EXISTING PPC REMOVE (3) ANTENNAS. (1) PER SECTOR REMOVE (6) RADIO MODULÉS (2) PER SECTOR RELOCATE (1) ANTENNA RELOCATE (2) RADIO MODULES ADD A NEW AC BREAKER IN PPC ADD A 2" CONDUIT FOR POWER ROUTED TO SSC ADD (2) NEW EQUIPMENT CABINETS ADD (3) HYBRID CABLES ADD MOUNTS PER STRUCTURALS ADD (6) ANTENNAS, (2) PER SECTOR

ADD (6) RADIO MODULES, (2) PER SECTOR

PROJECT TEAM

PROJECT MANAGER: T-MOBILE 121 ELECTION RD. DRAPER, UTAH 84020

CONTACT: RAQUEL ELLIS PHONE: (425) 279-4286 EMAIL: RAQUEL.COLLINS26@T-MOBILE.COM

CONSTRUCTION MANAGER: COAL CREEK CONSULTING

2166 E. UNIVERSITY DR., STE 201 TEMPE, AZ 85281 CONTACT: IAN WALKER PHONE (801) 946-8585

SITE ACQ. CONSULTANT: COAL CREEK CONSULTING 2166 E. UNIVERSITY DR., STE 201 TEMPE, ARIZONA 85281 CONTACT: JACOB RYNES PHONE: (480) 204-8226

A&E DESIGN:
COAL CREEK CONSULTING
2166 E. UNIVERSITY DR., STE 201 TEMPE, AZ 85281 CONTACT: SHAWN EVANS PHONE (602) 758-5829

CIVIL ENGINEER: TERRA DYNAMIC ENGINEERING, LLC P.O. BOX 22131 PHOENIX, ARIZONA 85028 CONTACT: ROBERT ORLANDO PHONE (602) 482-1603 EMAIL:ROBERT@TERRADYNAMIC.US

ELECTRICAL ENGINEER: EXCELLENCE IN ENGINEERING 12005 ANTELOPE TRAIL PARKER, COLORADO 80138 CONTACT: LOREN PRIEST PHONE (303) 748-1189

SHEET INDEX

TITLE SHEET, VICINITY MAP & GENERAL INFO.

CIVIL:

SITE PLAN

ENLARGED SITE PLAN

EXISTING/NEW ANTENNA PLAN & EQUIPMENT PLAN

EXISTING/NEW ELEVATION DETAILS

ELECTRICAL SPECS/GENERAL NOTES/LEGENDS/SHEET INDEX E-1E-2ENLARGED POWER PLAN

E-3ONE-LINE AND EXISTING/NEW PANEL SCHEDULE EQUIPMENT/ANTENNA GROUNDING PLAN AND NOTES

VICINITY MAP



DRIVING DIRECTIONS

DIRECTIONS TO THE SITE FROM THE T-MOBILE OFFICE:
HEAD SOUTH TOWARD LONE PEAK PKWY, TURN RIGHT, SHARP LEFT TOWARD LONE PEAK PKWY, TURN RIGHT TOWARD
LONE PEAK PKWY, TURN LEFT AT THE 1ST CROSS STREET ONTO LONE PEAK PKWY, TURN RIGHT AT W 12200 S,
DESTINATION WILL BE ON THE RIGHT.

1	09/03/20	REVIEW	JN
2	11/13/20	REVISION 1	RE

NO. DATE DESCRIPTION

-PROJECT INFORMATION

- CLIENT-

T · · Mobile ·

COAL CREEK

CONSULTING 2166 E. UNIVERSITY DR., STE 201 TEMPE, ARIZONA 85281 PHONE: (602) 429-0533 FAX: (480) 638-2852

TERRA DYNAMIC ENGINEERING, LLC

P.O. BOX 22131, PHOENIX, AZ 85028 PHONE: (602) 482-1603 EMAIL: ROBERT@TERRADYNAMIC.US

-ENGINEER OF RECORD-

SL03000A DRAPER SWITCH

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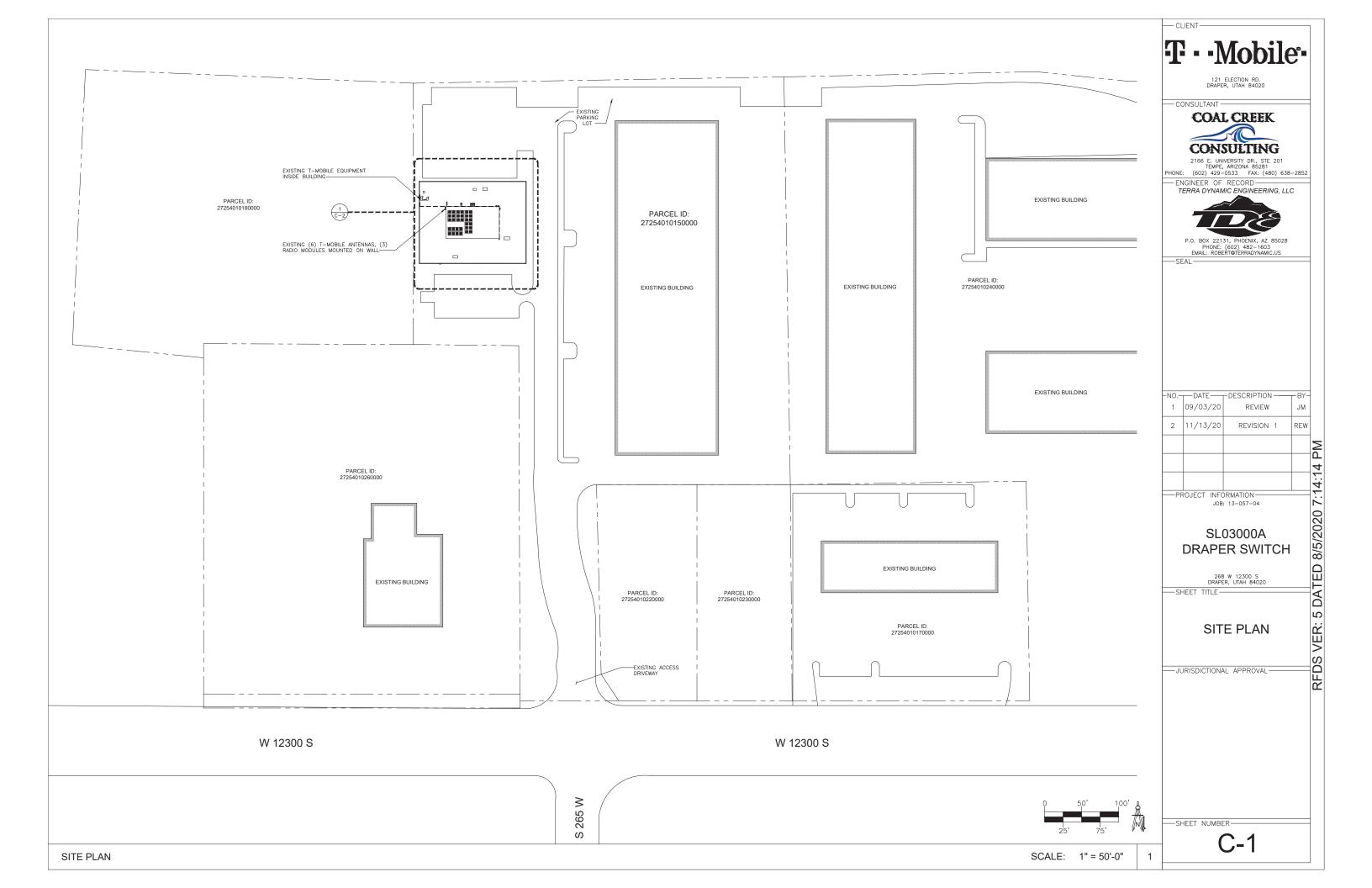
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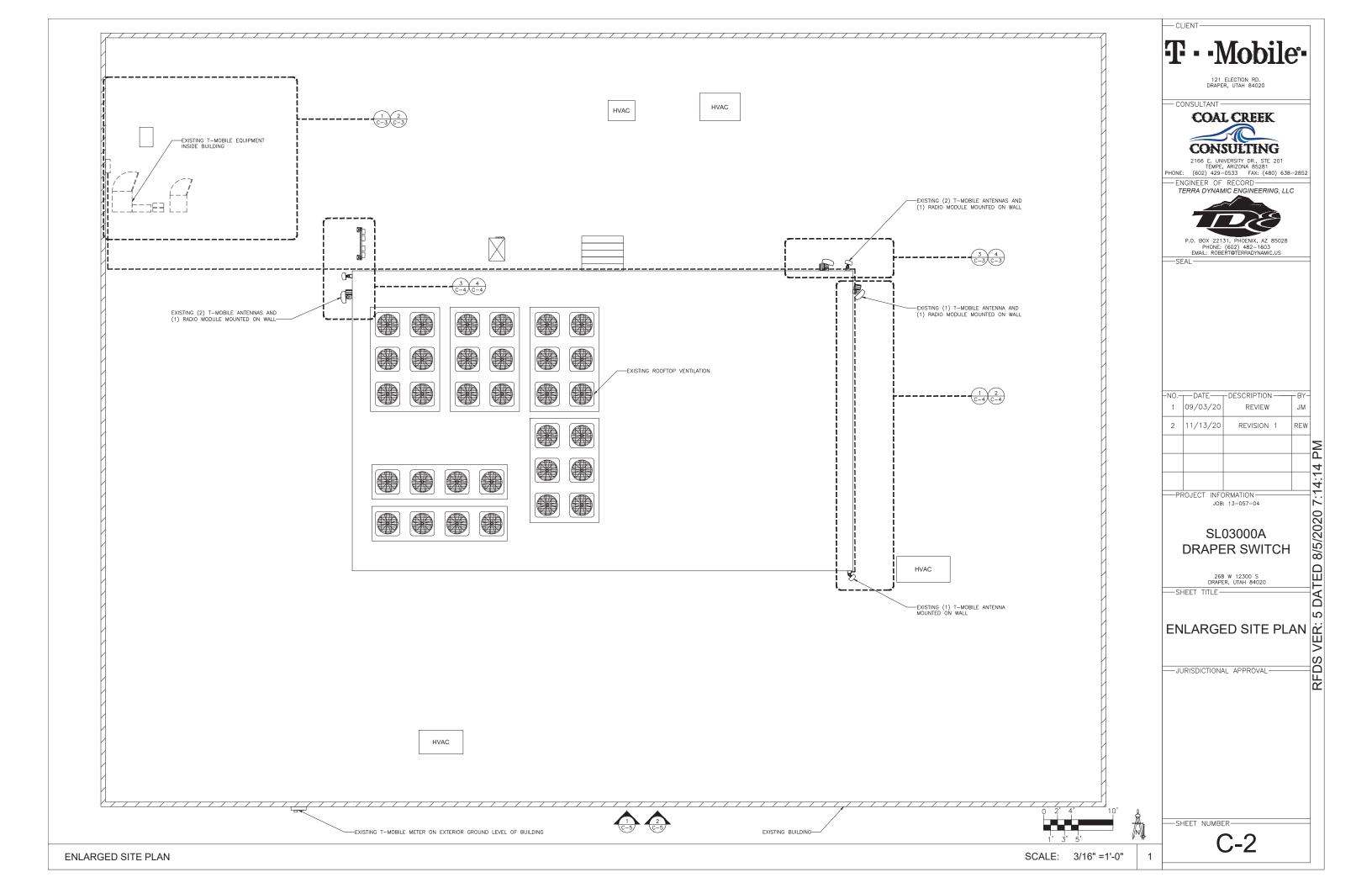
TITLE SHEET. VICINITY 6 MAP & GENERAL INFORMATION

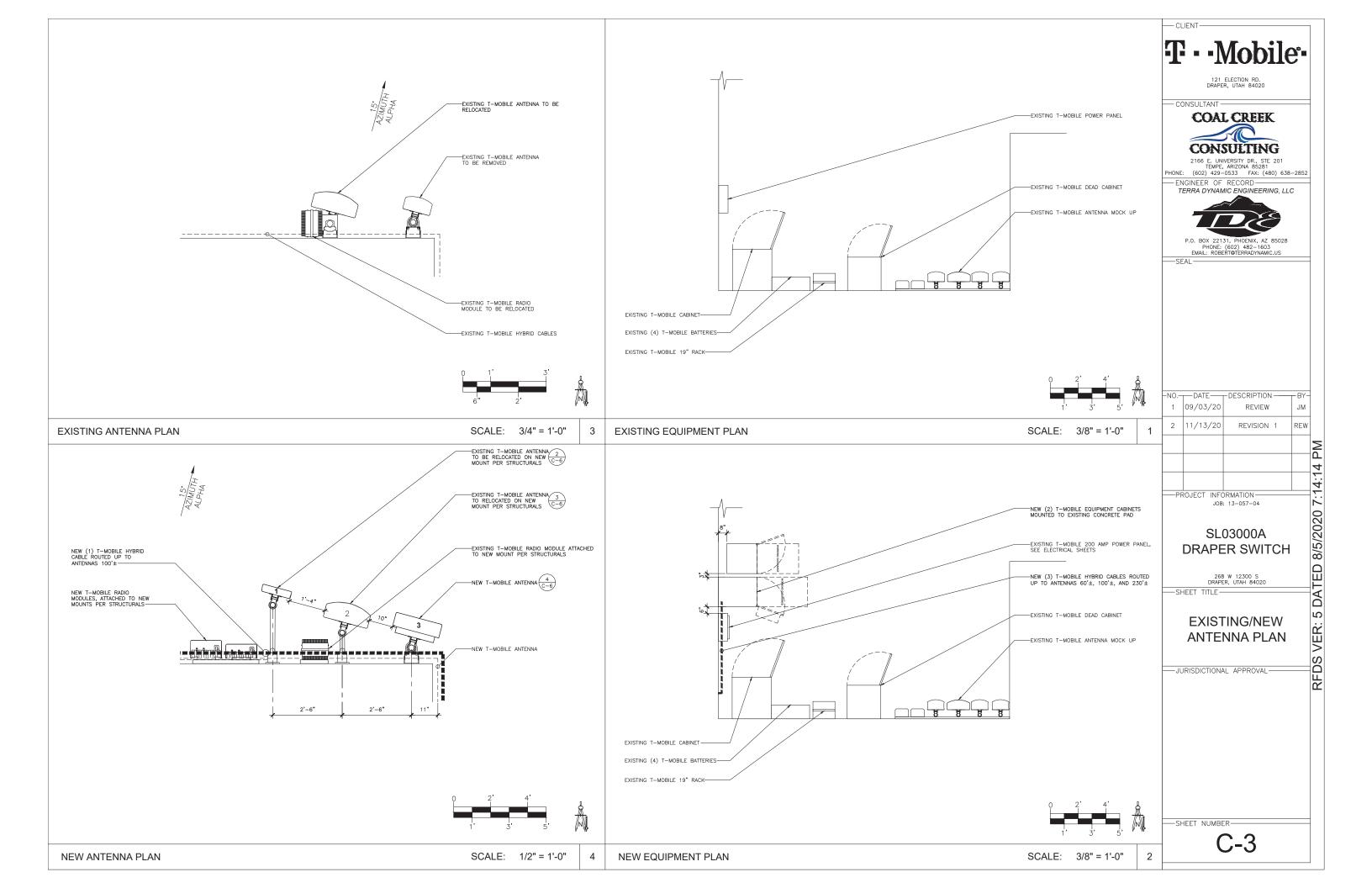
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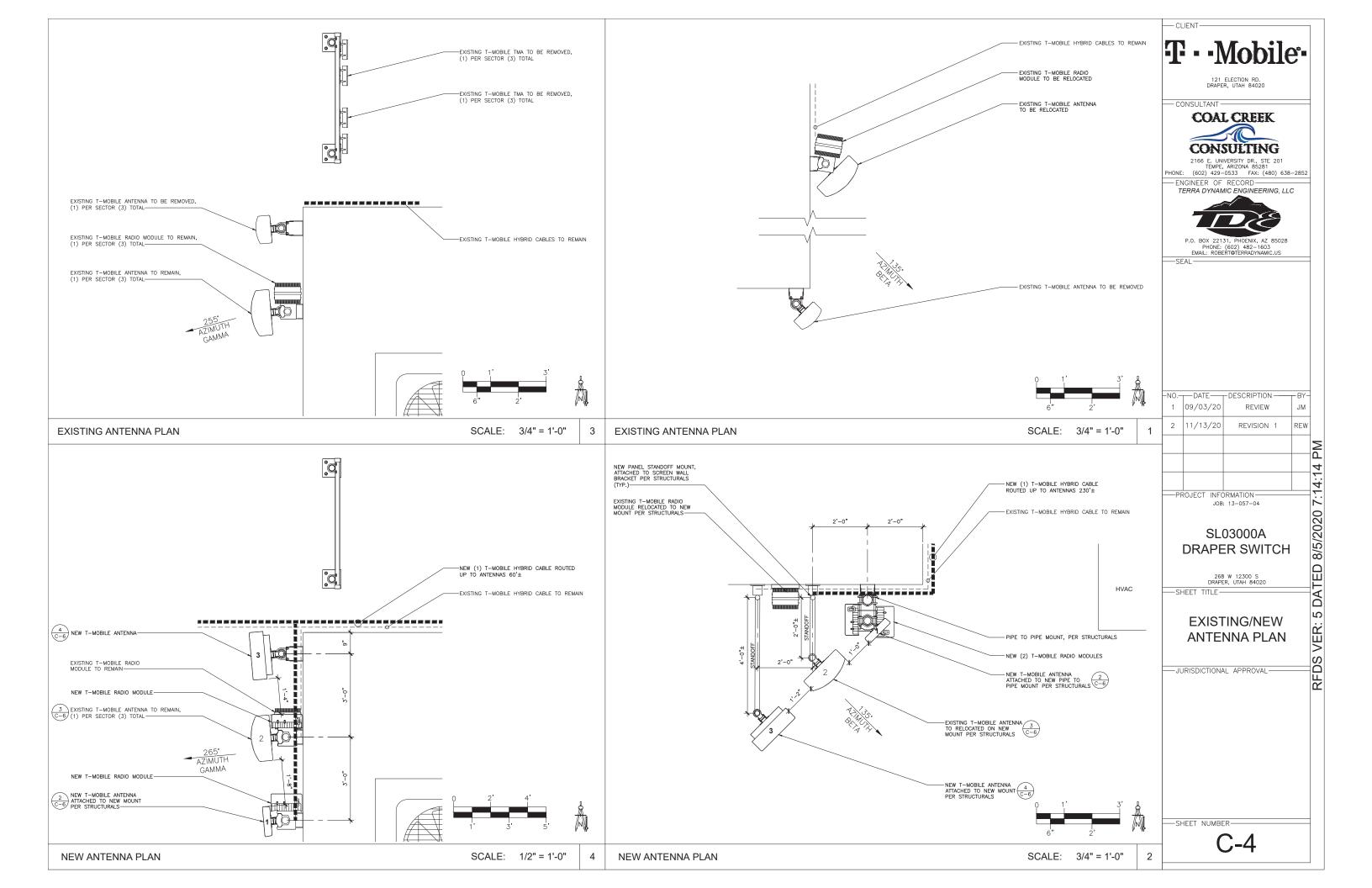
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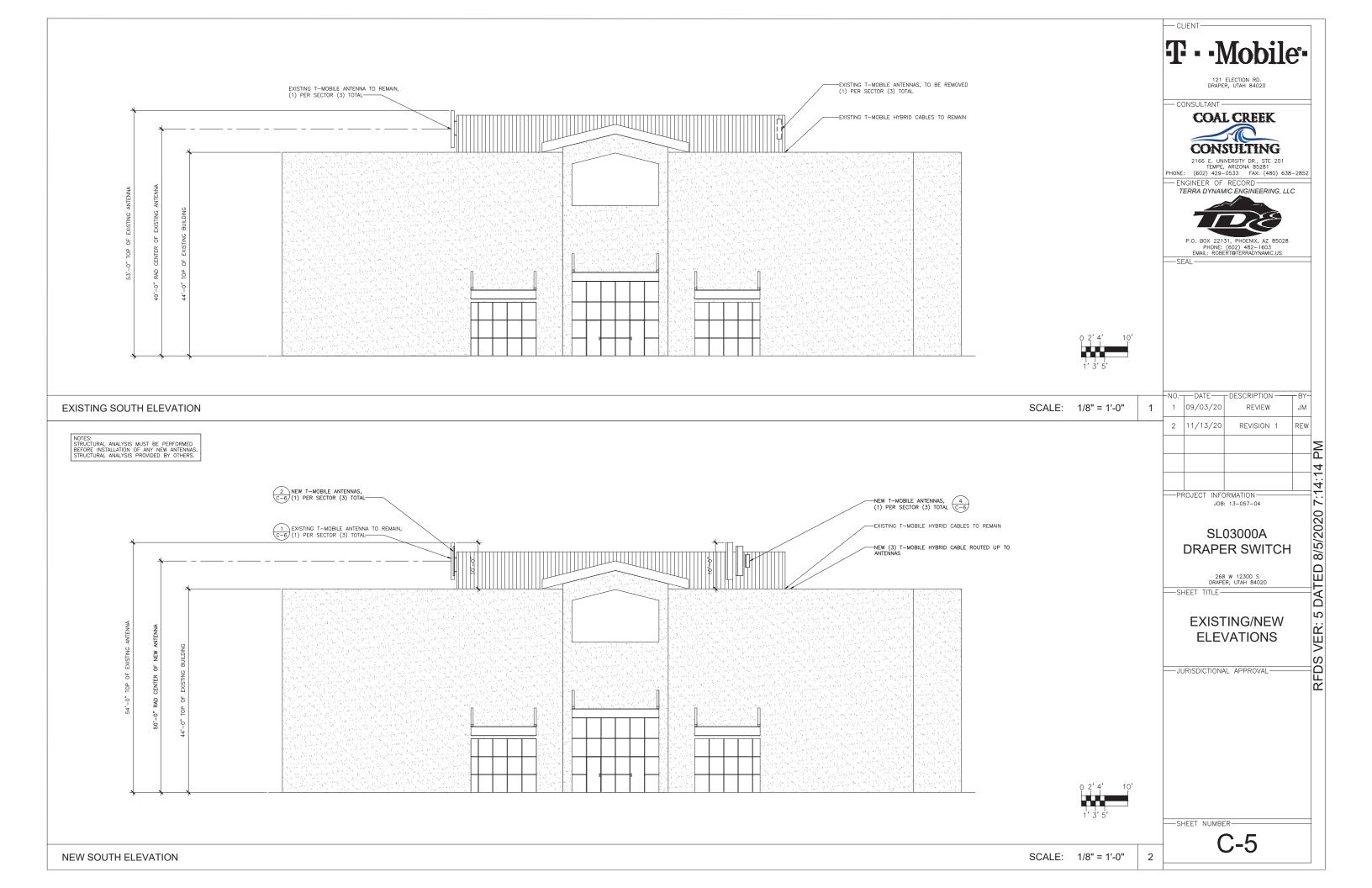
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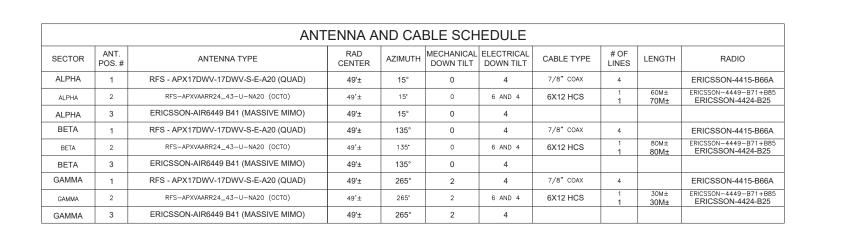




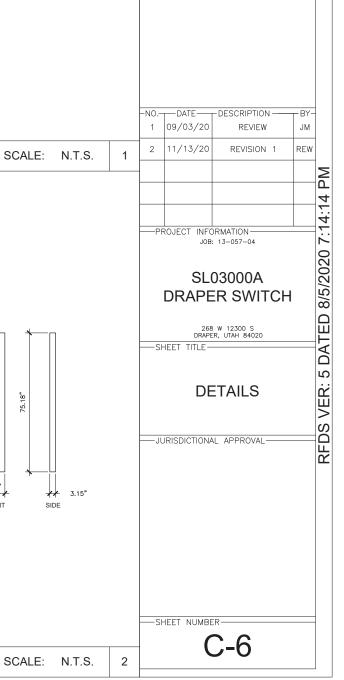








ANTENNA SCHEDULE



— CLIENT—

- CONSULTANT -

T·Mobile

121 ELECTION RD. DRAPER, UTAH 84020

COAL CREEK

CONSULTING 2166 E. UNIVERSITY DR., STE 201 TEMPE, ARIZONA 85281 PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD

TERRA DYNAMIC ENGINEERING, LLC

P.O. BOX 22131, PHOENIX, AZ 85028 PHONE: (602) 482-1603 EMAIL: ROBERT®TERRADYNAMIC.US

	TOP FRONT SIDE	PROJECT INFORMATION JOB: 13-057-04 SL03000A DRAPER SWITCH 268 W 12300 S DRAPER, UTAH 84020 SHEET TITLE DETAILS JURISDICTIONAL APPROVAL
NOT USED SCALE: N.T.S. 5	5 NEW ANTENNA #2 SCALE: N.T.S. 4 NEW ANTENNA #1 SCALE: N.T.S. 3 EXISTING ANTENNA #1 SCALE: N.T.S. 1	N.T.S. 2